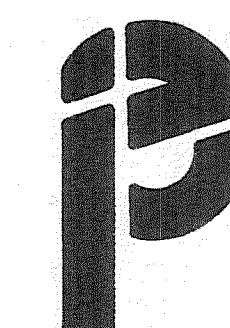
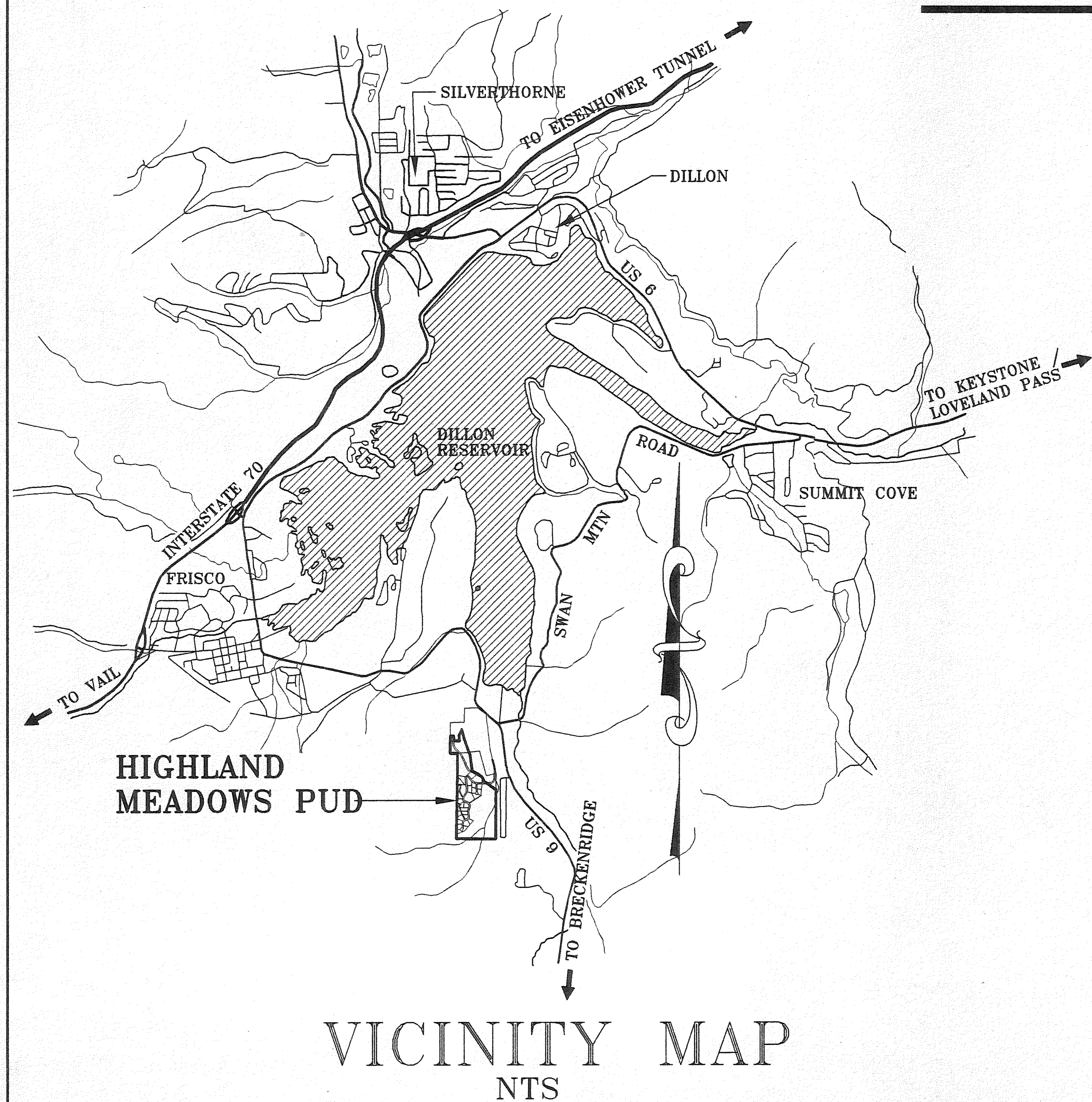


# HIGHLAND MEADOWS PUD PRELIMINARY PLAT AND PLANS FOR FARMER'S KORNER, INC. SUMMIT COUNTY, COLORADO

## SHEET NO. DESCRIPTION

- | SHEET NO. | DESCRIPTION   |
|-----------|---|
| 1.        | COVER SHEET   |
| 2.        | PRELIMINARY PLAT                                      |
| 3.        | PRELIMINARY PLAT                                      |
| 4.        | GRADING PLAN AND 30% SLOPE ANALYSIS                   |
| 5.        | DRAINAGE AND EROSION CONTROL PLAN                     |
| 6.        | SEWER AND WATER PLAN                                  |
| 7.        | ALPENSEE 3 SEWER PLAN                                 |
| 8.        | HIGHLAND MEADOWS DRIVE - SCHOOL EASEMENT IMPROVEMENTS |
| 9.        | SEWER PROFILE   |
| 10.       | SEWER PROFILES  |
| 11.       | SEWER PROFILES  |
| 12.       | WATER PROFILE   |
| 13.       | WATER PROFILES  |
| 14.       | WATER PROFILE   |
| 15.       | WATER SUPPLY AND DISTRIBUTION PLAN                    |
| 16.       | LANDSCAPING PLAN                                      |
| 17.       | WETLANDS MITIGATION PLAN                              |
| 18.       | FORESTRY PLAN   |
| 19.       | STREET AND DRIVE PLAN                                 |
| 20.       | ROAD PROFILES   |
| 21.       | ROAD PROFILES   |
| 22.       | ALPENSEE ROAD PLAN AND PROFILE                        |
| 23.       | DETAILS   |



PEARSON ENGINEERING, INC.

P.O. BOX 1308, FRISCO, CO 80443

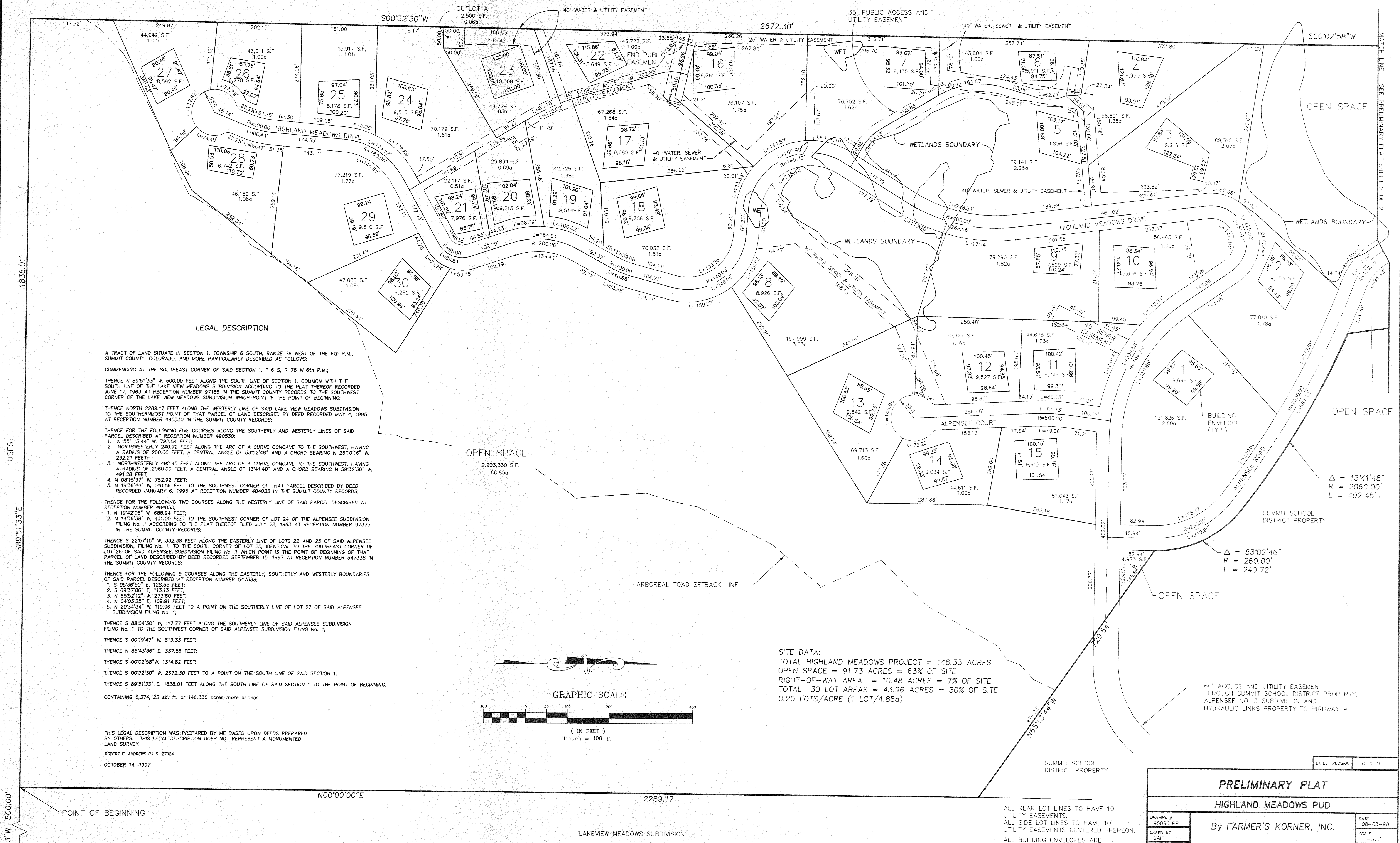
970 668 5067

graypearson@compuserve.com



USFS

USFS



LEGAL DESCRIPTION

A TRACT OF LAND SITUATE IN SECTION 1, TOWNSHIP 6 SOUTH, RANGE 78 WEST OF THE 6TH P.M., SUMMIT COUNTY, COLORADO, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 1, T 6 S, R 78 W 6TH P.M.;

THENCE N 89°51'33" W, 500.00 FEET ALONG THE SOUTH LINE OF SECTION 1, COMMON WITH THE SOUTH LINE OF THE LAKE VIEW MEADOWS SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED JUNE 17, 1983 AT RECEPTION NUMBER 97186 IN THE SUMMIT COUNTY RECORDS TO THE SOUTHWEST CORNER OF THE LAKE VIEW MEADOWS SUBDIVISION WHICH POINT IS THE POINT OF BEGINNING;

THENCE NORTH 2289.17 FEET ALONG THE WESTERLY LINE OF SAID LAKE VIEW MEADOWS SUBDIVISION TO THE SOUTHERNMOST POINT OF THAT PARCEL OF LAND DESCRIBED BY DEED RECORDED MAY 4, 1995 AT RECEPTION NUMBER 490530 IN THE SUMMIT COUNTY RECORDS;

THENCE FOR THE FOLLOWING FIVE COURSES ALONG THE SOUTHERLY AND WESTERLY LINES OF SAID PARCEL DESCRIBED AT RECEPTION NUMBER 490530:

1. N 85°13'44" W, 792.54 FEET;
2. NORTHWESTERLY 240.72 FEET ALONG THE ARC OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 260.00 FEET, A CENTRAL ANGLE OF 53°02'46" AND A CHORD BEARING N 26°10'16" W, 232.21 FEET;
3. NORTHWESTERLY 492.45 FEET ALONG THE ARC OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 2060.00 FEET, A CENTRAL ANGLE OF 13°41'48" AND A CHORD BEARING N 59°32'36" W, 491.28 FEET;
4. N 08°15'37" W, 752.92 FEET;
5. N 19°36'44" W, 140.56 FEET TO THE SOUTHWEST CORNER OF THAT PARCEL DESCRIBED BY DEED RECORDED JANUARY 6, 1995 AT RECEPTION NUMBER 484033 IN THE SUMMIT COUNTY RECORDS;

THENCE FOR THE FOLLOWING TWO COURSES ALONG THE WESTERLY LINE OF SAID PARCEL DESCRIBED AT RECEPTION NUMBER 484033:

1. N 19°42'08" W, 688.24 FEET;
2. N 14°36'38" W, 431.00 FEET TO THE SOUTHWEST CORNER OF LOT 24 OF THE ALPENSEE SUBDIVISION FILING No. 1 ACCORDING TO THE PLAT THEREOF FILED JULY 28, 1983 AT RECEPTION NUMBER 97375 IN THE SUMMIT COUNTY RECORDS;

THENCE S 22°57'15" W, 332.38 FEET ALONG THE EASTERLY LINE OF LOTS 22 AND 25 OF SAID ALPENSEE SUBDIVISION, FILING No. 1, TO THE SOUTH CORNER OF LOT 25, IDENTICAL TO THE SOUTHEAST CORNER OF LOT 26 OF SAID ALPENSEE SUBDIVISION FILING No. 1 WHICH POINT IS THE POINT OF BEGINNING OF THAT PARCEL OF LAND DESCRIBED BY DEED RECORDED SEPTEMBER 15, 1997 AT RECEPTION NUMBER 547338 IN THE SUMMIT COUNTY RECORDS;

THENCE FOR THE FOLLOWING 5 COURSES ALONG THE EASTERLY, SOUTHERLY AND WESTERLY BOUNDARIES OF SAID PARCEL DESCRIBED AT RECEPTION NUMBER 547338:

1. S 05°36'50" E, 128.55 FEET;
2. S 09°37'06" E, 113.13 FEET;
3. N 85°52'12" W, 273.60 FEET;
4. N 04°03'25" E, 109.91 FEET;
5. N 20°34'54" W, 119.96 FEET TO A POINT ON THE SOUTHERLY LINE OF LOT 27 OF SAID ALPENSEE SUBDIVISION FILING No. 1;

THENCE S 88°04'30" W, 117.77 FEET ALONG THE SOUTHERLY LINE OF SAID ALPENSEE SUBDIVISION FILING No. 1 TO THE SOUTHWEST CORNER OF SAID ALPENSEE SUBDIVISION FILING No. 1;

THENCE S 00°19'47" W, 813.33 FEET;

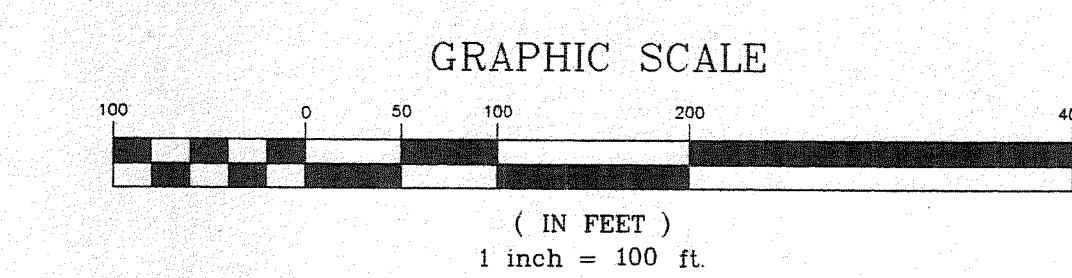
THENCE N 88°43'36" E, 337.56 FEET;

THENCE S 00°02'58" W, 1314.82 FEET;

THENCE S 00°32'30" W, 2672.30 FEET TO A POINT ON THE SOUTH LINE OF SAID SECTION 1;

THENCE S 89°51'33" E, 1838.01 FEET ALONG THE SOUTH LINE OF SAID SECTION 1 TO THE POINT OF BEGINNING.

CONTAINING 6,374,122 sq. ft. or 146.330 acres more or less



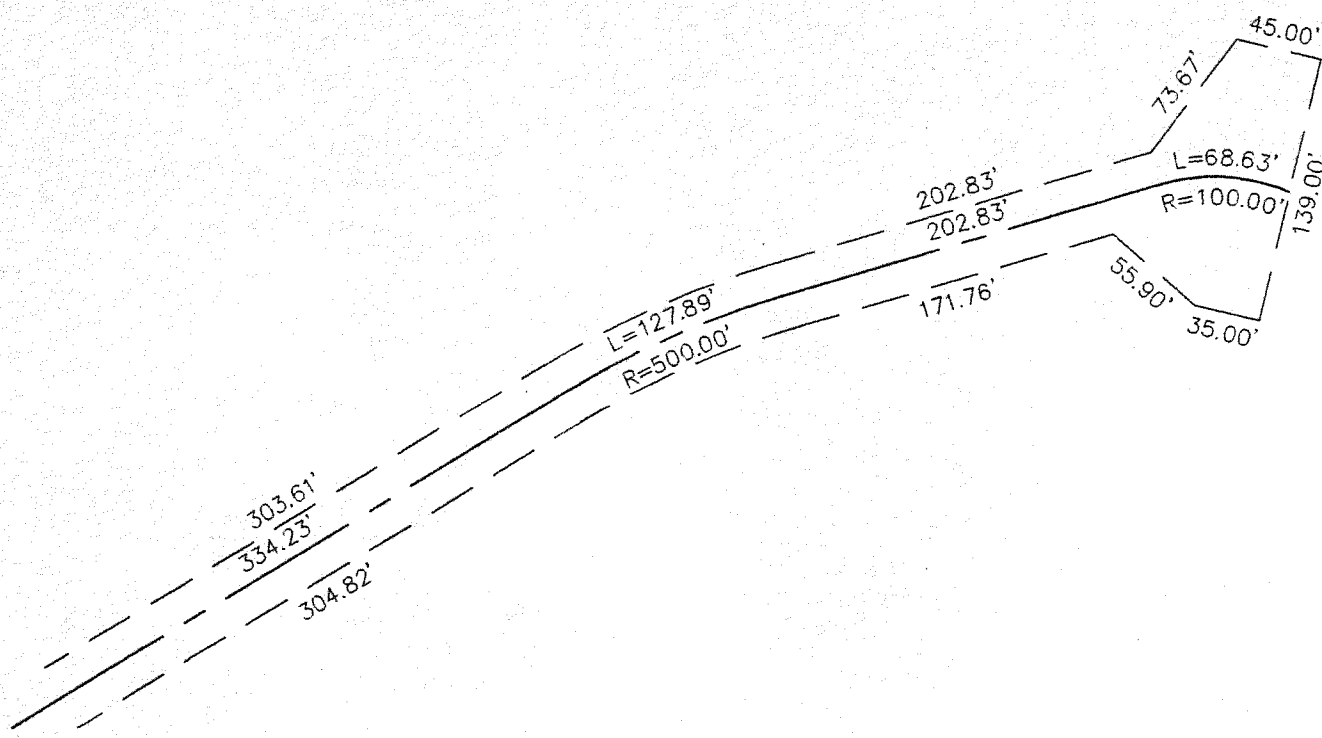
SITE DATA:  
 TOTAL HIGHLAND MEADOWS PROJECT = 146.33 ACRES  
 OPEN SPACE = 91.73 ACRES = 63% OF SITE  
 RIGHT-OF-WAY AREA = 10.48 ACRES = 7% OF SITE  
 TOTAL 30 LOT AREAS = 43.96 ACRES = 30% OF SITE  
 0.20 LOTS/ACRE (1 LOT/4.88a)

THIS LEGAL DESCRIPTION WAS PREPARED BY ME BASED UPON DEEDS PREPARED BY OTHERS. THIS LEGAL DESCRIPTION DOES NOT REPRESENT A MONUMENTED LAND SURVEY.  
 ROBERT E. ANDREWS P.L.S. 27924  
 OCTOBER 14, 1997

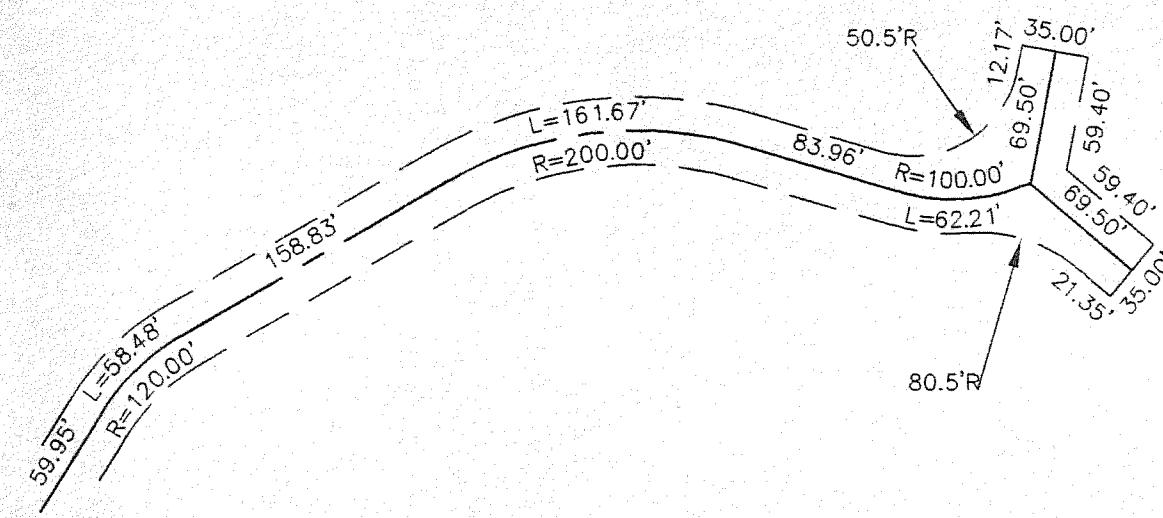
ALL REAR LOT LINES TO HAVE 10' UTILITY EASEMENTS.  
 ALL SIDE LOT LINES TO HAVE 10' UTILITY EASEMENTS CENTERED THEREON.  
 ALL BUILDING ENVELOPES ARE SET BACK FROM FRONT AND REAR PROPERTY LINES A MINIMUM OF 25' AND FROM THE SIDES, 15'.  
 SEE SHEET 2 OF 2 FOR PRIVATE DRIVE DIMENSIONS

LATEST REVISION		0-0-0
<b>PRELIMINARY PLAT</b>		
<b>HIGHLAND MEADOWS PUD</b>		
By FARMER'S KORNER, INC.		DATE 08-03-98
SUMMIT COUNTY, COLORADO		SCALE 1"=100'
PEARSON ENGINEERING, INC.		SHEET 1 OF 2
P.O. BOX 1508, FRISCO, CO 80443 970 668 5067 graypearson@compuserve.com		

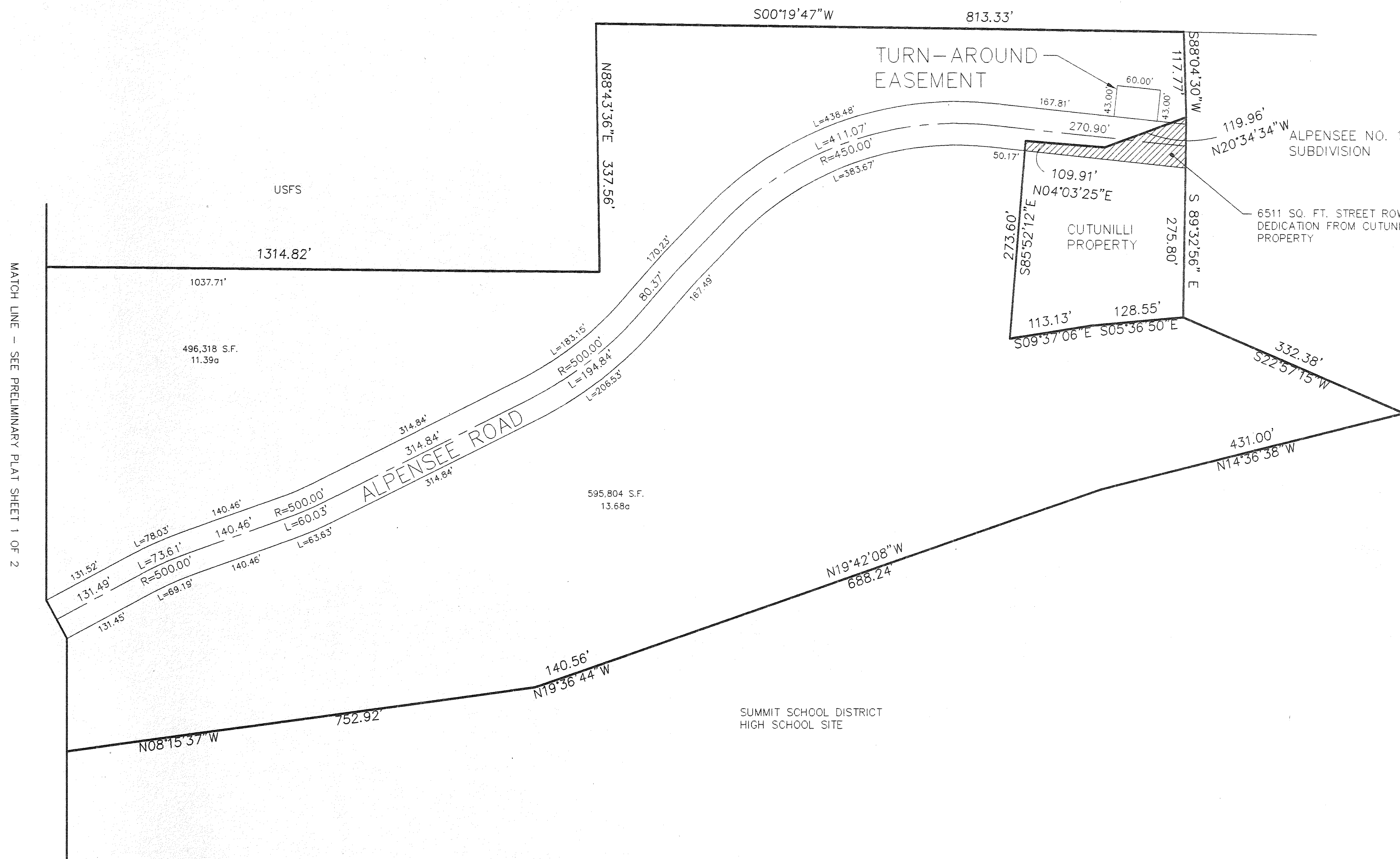
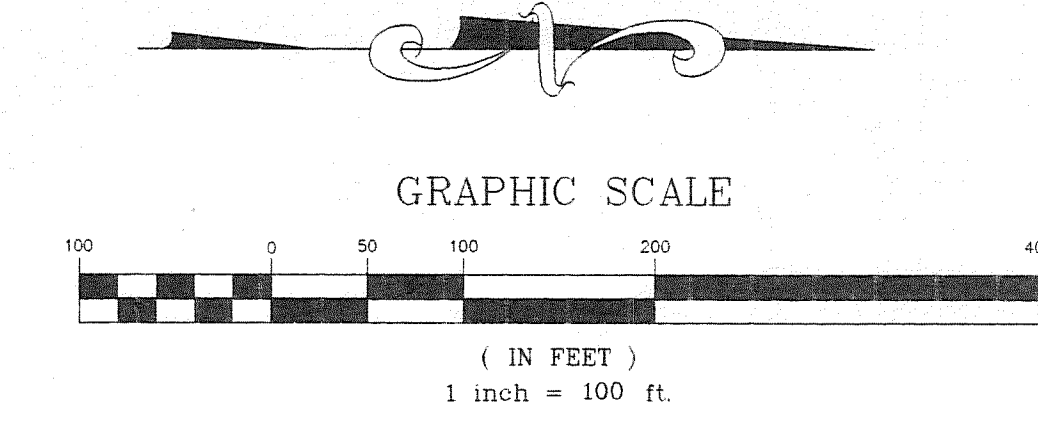





SOUTH PRIVATE DRIVE  
35' WIDE PUBLIC ACCESS  
AND UTILITY EASEMENT



NORTH PRIVATE DRIVE  
35' WIDE PUBLIC ACCESS  
AND UTILITY EASEMENT



LATEST REVISION 0-0-0

<b>PRELIMINARY PLAT</b>		
HIGHLAND MEADOWS PUD		
DRAWING # 950901PP	By FARMER'S KORNER, INC.	DATE 08-03-98
DRAWN BY GAP	SUMMIT COUNTY, COLORADO	SCALE 1"=100'
FIELD BOOK NA		SHEET 2 OF 2
 <b>PEARSON ENGINEERING, INC.</b> P.O. BOX 1308, FRISCO, CO 80443 970 668 5067 graypearson@compuserve.com		