

**GENERAL NOTES**

1) COPYRIGHT: All plans, designs, and concepts shown in these drawings are the exclusive property of Baker + Hogan + Houx, Architecture and Planning, A.I.A./P.C. and shall not be used, disclosed, or reproduced for any purpose whatsoever without the Architect's written permission.

2) CODES: This project is governed by the Uniform Building Code, 1997 Edition as adopted by Summit County Government, Colorado. Code compliance is mandatory. The drawings and specifications shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for satisfying all applicable codes and obtaining all permits and required approvals. Building areas are shown for code purposes only and shall be recalculated for any other purposes.

3) FIELD VERIFICATION: Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Notify Architect of any conflicts or discrepancies in the drawings immediately.

4) DIMENSIONS: Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify Architect of any conflicts or discrepancies for interpretation or clarification. Plan dimensions are to the face of framing members, face of wood framing or face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete, top of plywood, or top of wall plates or beams unless otherwise noted.

5) DISCREPANCIES: The Owner has requested the Architect to provide limited architectural and engineering services. In the event additional details or guidance is needed by the Contractor for construction of any aspect of this project, he shall immediately notify the Architect. Failure to give timely notice shall relieve the Architect of responsibility. Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from the Architect.

6) DUTY OF COOPERATION: Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his Consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences.

7) CHANGES TO THE WORK: Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to such work. Performance of such work without approval by change order indicates General Contractor's acknowledgment of no increase in contract sum or time. Changes from the plans or specifications made without consent of the Architect are unauthorized and shall relieve the Architect of responsibility for any and all consequences resulting from such changes.

8) WORKMANSHIP: It is the intent and meaning of these drawings that the Contractor and each Subcontractor provide all labor, materials, transportation, supplies, equipment, etc., to obtain a complete job within the recognized standards of the industry.

9) SUBSTITUTIONS: Substitution of "equal" products will be acceptable with Architect's written approval. See specifications.

10) CONSTRUCTION SAFETY: These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety, care of utilities and adjacent properties during construction, and shall comply with state and federal safety regulations.

11) EXCAVATION PROCEDURES: Upon completion of any excavation, the Owner shall retain a soils engineer to inspect the subsurface conditions in order to determine the adequacy of foundation design. See specifications. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.

12) FIELD CUTTING OF STRUCTURAL MEMBERS: The General Contractor and Subcontractors shall field coordinate and obtain approval from Architect/Engineer before any cutting, notching or drilling of any cast-in-place concrete, steel framing, or any other structural elements which may affect the structural integrity of the building. When it is necessary to bore studs, joists or rafters for electrical or plumbing runs, the holes shall not be greater than 40% of the member depth in load bearing conditions, and not greater than 80% of the member depth in non-load bearing conditions. Holes bored in joists or rafters shall not be within 2 inches of the top or bottom and their diameter shall not exceed 1/3 the depth of the member. Refer to 1997 Uniform Building Code, Sections 2320.8.3, 11.10.12.4, manufacturer's or supplier's instructions, and structural drawings for additional requirements.

13) WEATHER CONDITIONS: The Owner has been advised that due to harsh winter conditions, roof and deck surfaces must be maintained reasonably free of ice and snow to ensure minimal problems with these surfaces. All roofing, roofing membranes, and waterproofing shall be approved in writing by product manufacturer (W.R. Grace for bitumens, etc.) prior to proceeding with any work. Failure to provide these written approvals removes all responsibility for the work from the Architect.

14) BUILDING AREA: Building areas are shown for code purposes only and shall be recalculated for any other use.

15) PROJECT STAKING: The general contractor shall verify all existing grades and stake all building corners and driveway location for Owner/Architect approval prior to beginning any site clearing.

16) SITE DISTURBANCE: It is the responsibility of the contractor to protect the existing trees to remain and adjacent properties from damage during construction. Provide protective fencing throughout construction.

17) PROJECT GRADES: The general contractor shall check and verify all grades including paved area slopes prior to pouring any foundations. Survey work should be verified in detail. See numbers 5 and 6.

18) ADA GENERAL NOTE DISCLAIMER: Baker + Hogan + Houx indicates that, in its professional opinion, the attached design conforms to the regulations published July 26, 1991 under Title III of the Americans with Disabilities Act. It does not represent, warrant, guarantee or otherwise indicate to the client that these documents will fully comply with interpretations of ADA requirements by regulatory bodies or court decisions. The ADA is not a building code, and therefore will be enforced in strict compliance with implementation regulations, but in keeping with the intent of the Act to eliminate discrimination based on disabilities as defined in the Act.

**SITE DATA**

SITE AREA	AREA SF	% OF SITE
LOT 1	12,672 SF	3.28 A.C.
LOT 2	23,467 SF	6.44 A.C.
LOT 3	23,248 SF	6.24 A.C.
LOT 4	24,044 SF	6.46 A.C.
LOT 5	20,568 SF	5.47 A.C.
LOT 6	20,660 SF	5.47 A.C.
TOTAL	124,659 SF	3.41 A.C.
SITE COVERAGE		
BUILDING FOOTPRINT	5,492 SF	4.4%
BUILDING 1	5,492 SF	4.4%
BUILDING 2	5,492 SF	4.4%
BUILDING 3	5,492 SF	4.4%
BUILDING 4	5,492 SF	4.4%
TOTAL	21,368 SF	17.1%
PAVED AREA (PARKING AND DRIVE AISLES)		
NORTH	21,471 SF	17.1%
SOUTH	17,592 SF	14.1%
TOTAL	39,063 SF	31.2%
HARDSCAPE (WALKS - NOT INCL. SOFT SURFACE PATH)		
NORTH	6,348 SF	5.1%
SOUTH	5,719 SF	4.6%
TOTAL	12,067 SF	9.7%
LANDSCAPE		
NORTH	40,628 SF	32.6%
SOUTH	14,492 SF	11.6%
TOTAL	55,120 SF	44.2%
PARKING AND SNOW STACK		
RESIDENTIAL	1.5 / UNIT	12 SPACES
LOW INTENSITY RETAIL	2/1000	16 SPACES
SERVICE / COMMERCIAL	4/1000	65 SPACES
TOTAL		93 SPACES
PARKING SHOWN		
EXTERIOR		84 SPACES
INTERIOR		34.3 SPACES
TOTAL		118.3 SPACES
SNOW STACK REQUIRED		
25% OF DRIVE AISLE - NORTH	10,848 SF X 25%	2,712 SF
100 SF PER PARKING STALL - NORTH	25 STALLS X 100	2,500 SF
TOTAL REQUIRED		5,212 SF
TOTAL PROVIDED		3,763 SF
25% OF DRIVE AISLE - SOUTH	11,290 SF X 25%	2,822 SF
100 SF PER PARKING STALL - SOUTH	28 STALLS X 100	2,800 SF
TOTAL REQUIRED		5,622 SF
TOTAL PROVIDED		5,851 SF
A-8 (NO RESIDENTIAL)	24,358: 12,482:1	15: 12
A-8 (WITH RESIDENTIAL)	30,204: 12,482:1	14: 13

**BLDG. AREA CALCULATIONS**

BUILDING	MAIN LEVEL			UPPER LEVEL		TOTAL
	RETAIL	SERVICE	COMMERCIAL	MEZZANINE	HOUSING	
BUILDING 1	3,000 SF.	0 SF.	2,492 SF.	600 SF.	1,534 SF.	1,626 SF.
BUILDING 2	2,200 SF.	1,600 SF.	2,200 SF.	600 SF.	1,534 SF.	1,626 SF.
BUILDING 3	3,000 SF.	0 SF.	2,492 SF.	600 SF.	1,534 SF.	1,626 SF.
BUILDING 4	0 SF.	2,000 SF.	3,412 SF.	600 SF.	1,534 SF.	1,626 SF.
TOTAL	8,200 SF.	3,600 SF.	10,804 SF.	2,400 SF.	6,136 SF.	13,240 SF.

NOTE: ONE THIRD OF TOTAL RETAIL SPACE TO BE LOW INTENSITY.  
TWO THIRDS OF TOTAL RETAIL SPACE TO BE SERVICE/COMMERCIAL.

**CODE DATA**

CODE STUDY  
HIGHLAND BUSINESS PARK  
PROJECT NUMBER: 92718.1  
October 1999

I. BUILDING AREA  
This code study was performed using the 1997 Uniform Building Code as amended and adopted by Summit County Colorado. Square footage is shown for code purposes only and shall be recalculated for all other purposes.

BUILDING	MAIN LEVEL		UPPER LEVEL	
	Business	Mech/Storage	Mezzanine	Dwellings
BUILDING 1	5,372 s.f.	120 s.f.	600 s.f.	600 s.f.
BUILDING 2	5,372 s.f.	120 s.f.	600 s.f.	600 s.f.
BUILDING 3	5,372 s.f.	120 s.f.	600 s.f.	600 s.f.
BUILDING 4	5,372 s.f.	120 s.f.	600 s.f.	600 s.f.
Grand Total	21,456 s.f.	480 s.f.	2,400 s.f.	2,400 s.f.

II. OCCUPANCY GROUP (Table 5-4)  
MAIN LEVEL - B (Office) or M (Merchandise)  
UPPER LEVEL - R-3 (Dwellings)

Note: A one hour fire resistive occupancy separation is required between the R-3 and the B or M occupancy (Table 5-8). Columns and primary beams in the B or M occupancy that support the R-3 occupancy shall be one hour rated assemblies. A two hour fire rated party wall to be provided between the dwelling units at upper level.

III. OCCUPANT LOAD (Table 10-A)  
MAIN LEVEL:

BUILDING	MAIN LEVEL		UPPER LEVEL	
	Business	Mech/Storage	Mezzanine	Dwellings
BUILDING 1	5,247 + 30 = 1750 (M)	120 + 300 = 420 (C)	600 + 100 = 700 (M)	600 + 100 = 700 (C)
BUILDING 2	5,247 + 100 = 5200 (C)	120 + 300 = 420 (C)	600 + 100 = 700 (M)	600 + 100 = 700 (C)
BUILDING 3	4,314 + 30 = 1440 (M)	120 + 300 = 420 (C)	600 + 100 = 700 (M)	600 + 100 = 700 (C)
BUILDING 4	5,247 + 100 = 5200 (C)	120 + 300 = 420 (C)	600 + 100 = 700 (M)	600 + 100 = 700 (C)
Grand Total	186.40 (M)	63.40 (C)	186.40 (M)	63.40 (C)

Note: There are two dwelling units at upper level of 767 s.f. each, and are required to only have one exit with a stair to grade (Section 1004.2.2.2, Exception 2). The above calculations do not include accessory use areas in accordance with Section 1003.2.2.1.1; the stairs to upper level are classified as accessory use. (M) = Merchandise; (C) = Office.

IV. TYPE OF CONSTRUCTION (Table 5-A and 5-A): Classified as Type V-N.

Element	Construction	Partitions - Permanent	Shaft Enclosure	Floors / Ceilings	Roofs
Exterior bearing walls	N	1 1/2"	N	N	N
Interior bearing walls	N	1 1/2"	N	N	N
Exterior nonbearing walls	N	N	N	N	N
Structural frame	N	N	N	N	N

V. BUILDING HEIGHT (Table 5-B):  
B or M Occupancy, Type V-N: 2 Stories; 40'-0" Height  
R-3: 2 Stories; 22'-6" Height

VI. LOCATION ON PROPERTY (Table 5-A):  
Occupancy Group: B & M  
Construction Type: V-N  
Exterior Walls Bearing and Non Bearing: 1 Hr., less than 20' tall, NR elsewhere  
Openings: Not permitted less than 5 feet. Protected less than 10 feet.  
R-3: V-N  
1 Hr., less than 3' tall, NR elsewhere  
Not permitted less than 3 feet.

VII. ALLOWABLE FLOOR AREA (Table 5-B):  
Allowable area for B or M Type V-N: 8,000 s.f.  
Allowable area for R-3 Type V-N: Unlimited

Note: These allowable areas can be doubled for buildings of more than 1 story if automatic sprinkler system is provided. Project is well under allowable areas because the total square footage of each building equals 7,626 s.f.

VIII. SPECIFIC CODE REQUIREMENTS:

- Entry Protection: Building entries and porch areas are protected with shed roof forms or drained flat roofs at some locations. See plans for detailed areas of protection.
- Building Accessibility: The commercial spaces on main level are fully accessible with provision of grade entries meeting code requirements. Handicap accessible bathroom to be provided by each tenant that occupies a commercial space.
- All front exit doors to swing outward. Hardware shall be ADA compliant level handles at all main level doors.
- An automatic sprinkler system and monitored fire alarm system is required per local fire department (this includes crawlspaces, main level and upper level). A remote detection system is required only for the dwelling units. All requirements for B, M and R-3 occupancy shall be satisfied.
- Crawl space ventilation to be provided as indicated on the plans.
- No draft stops are required at the crawl space or attic.
- Additional Code Requirements: See detailed plans for any additional provisions. Individual tenant finish plans to be reviewed by Summit County Building Department for further code compliance.

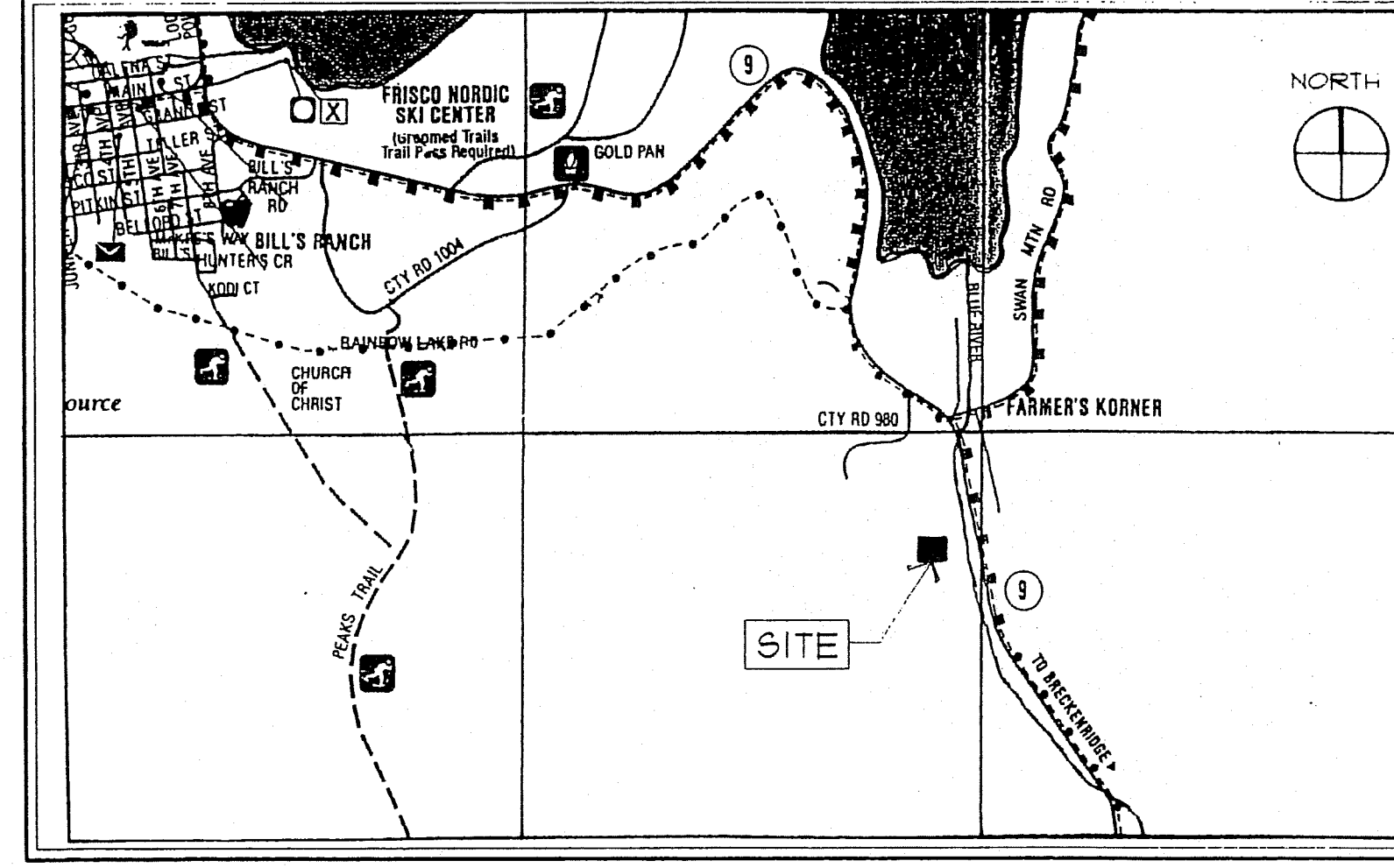
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DATE: 12/15/99  
REVIEWED BY: ZH  
See comments on SP-1 & A-1.

ACCEPTED  MAKE CORRECTIONS NOTED  
REJECTED  REVISE AND RESUBMIT  
SEE LETTER FOR COMMENTS  
PLEASE POST PLANS AND REVIEW COMMENTS ON JOB SITE

**SHEET INDEX**

T-1	GENERAL NOTES, CODE STUDY	D-1	ARCHITECTURAL DETAILS
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C-2	SEWER & WATER SERVICE PLAN	D-3	SPECIFICATIONS
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C-4	ALPENSEE III ACCESS ROAD	S2.0	MAIN LEVEL FRAMING (BLDG. #1 & #2)
C-5	HIGHWAY 9 ENTRANCE	S2.1	MAIN LEVEL FRAMING (BLDG. #3 & #4)
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A-4	LIVING UNIT PLAN & SCHEDULES	S3.4	STRUCTURAL DETAILS
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**VICINITY MAP**



<b>OWNER / DEVELOPER:</b> FARMERS KORNER, INC. P.O. Box 1005 Frisco, CO 80443 (970) 453-1002 (970) 453-8522 Fax	<b>PLANNER/ARCHITECT:</b> BAKER + HOGAN + HOUX / P.C. P.O. Box 2113 Silverthorne, CO 80498 (970) 513-1000 (970) 513-0155 Fax	<b>CIVIL ENGINEER:</b> PEARSON ENGINEERING, INC. P.O. Box 1308 Frisco, CO 80443 (970) 668-5067 (970) 668-3073 Fax	<b>STRUCTURAL ENGINEER:</b> MARTIN / MARTIN 4251 Kipling P.O. Box 4001 Wheatridge, CO 80034 (303) 431-6100 (303) 431-4028 Fax	<b>SURVEYOR:</b> RANGE WEST SURVEYORS P.O. Box 589 Silverthorne, CO 80498 (970) 668-3716 (970) 668-3765 Fax	<b>GENERAL CONTRACTOR:</b> CENTERRE CONSTRUCTION, INC. 5300 DTC Parkway, Suite 300 Englewood, CO 80111 (303) 220-9400 (303) 220-9893 Fax
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**BAKER • HOGAN • HOUX**  
ARCHITECTURE & PLANNING, A.I.A./P.C.  
P.O. BOX 931, 160 EAST ADAMS, BRECKENRIDGE, COLORADO 80424 (970) 453-6880

**HIGHLAND BUSINESS PARK**  
HIGHLAND MEADOWS, SUMMIT COUNTY, COLORADO

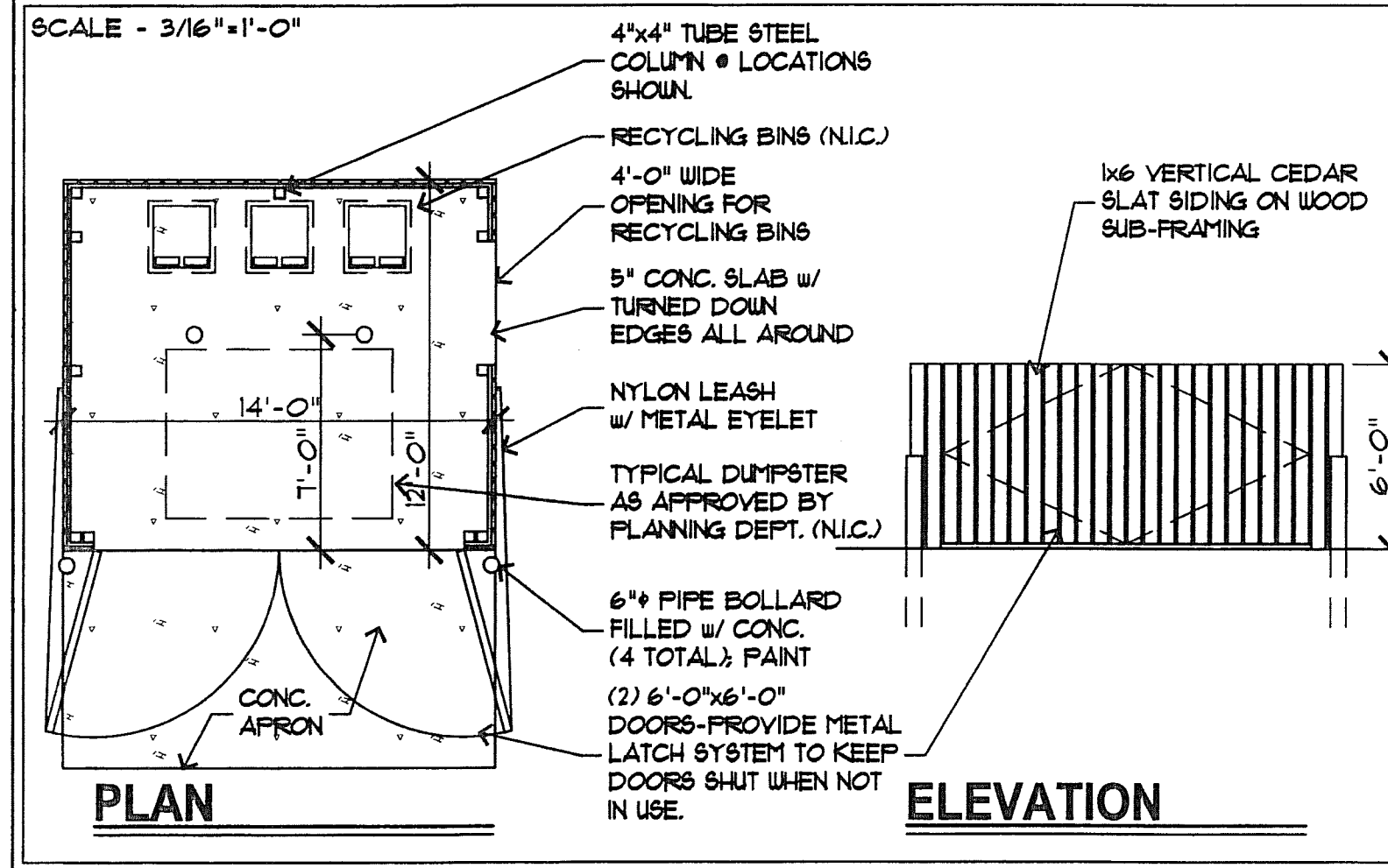
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DATE: 11.5.99  
DRAWN BY: JLB  
CHECKED BY: MHA  
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ISSUED FOR CONSTRUCTION  
11/5/99

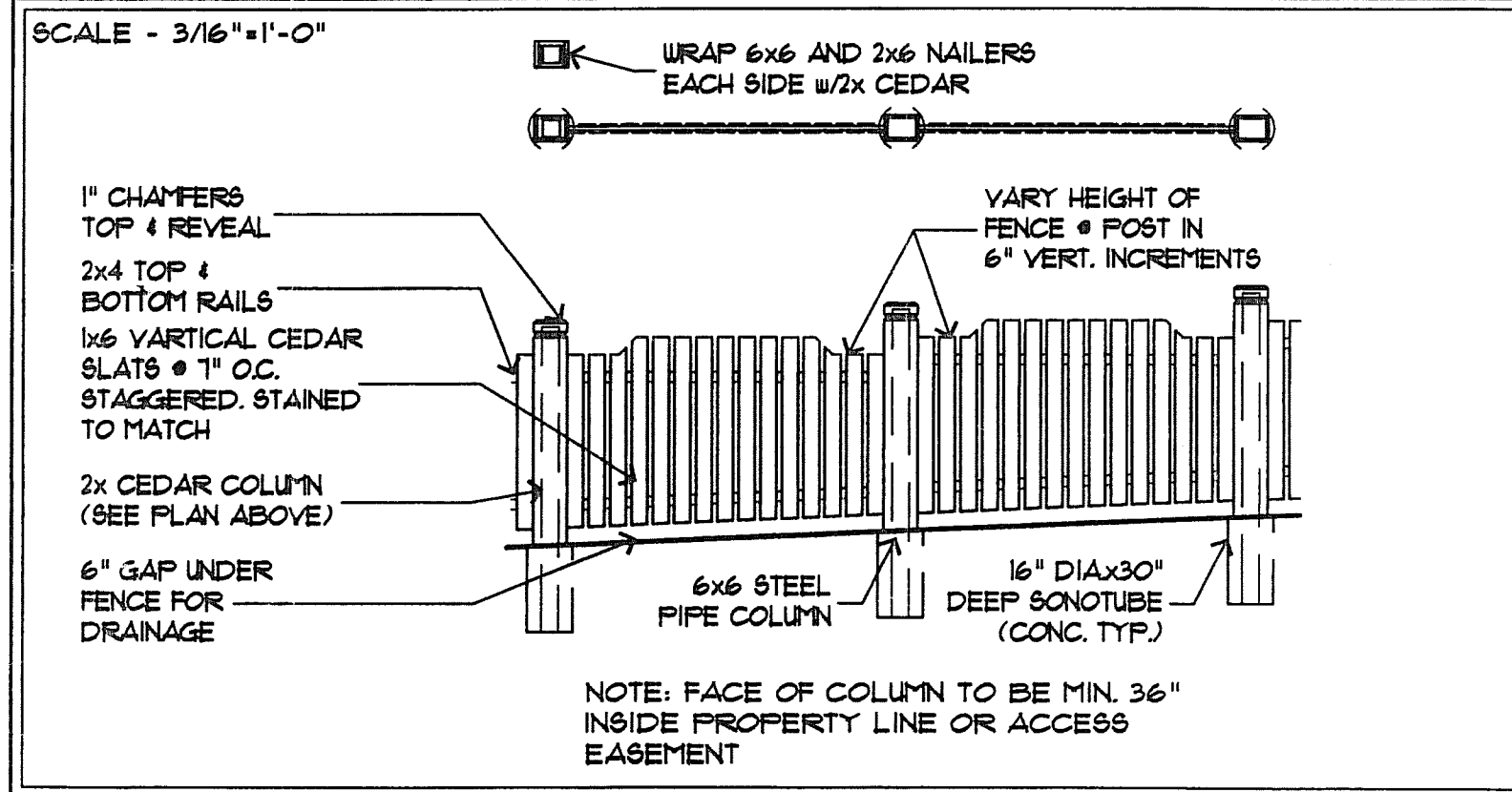
SHEET NUMBER:  
**T-1**  
OF: 1



**DUMPSTER ENCLOSURE**



**FENCE DETAIL**



**PLANTING LIST**

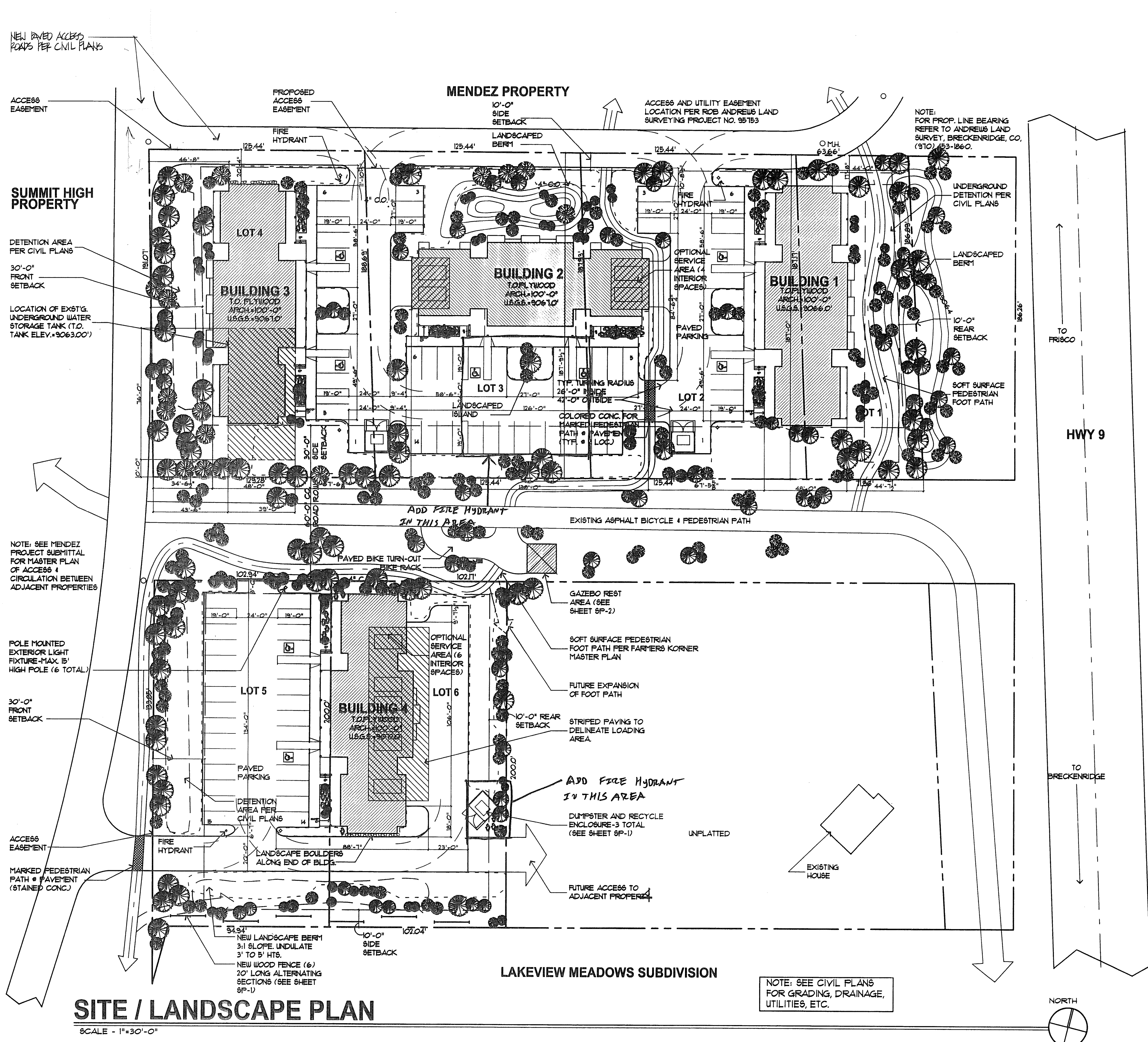
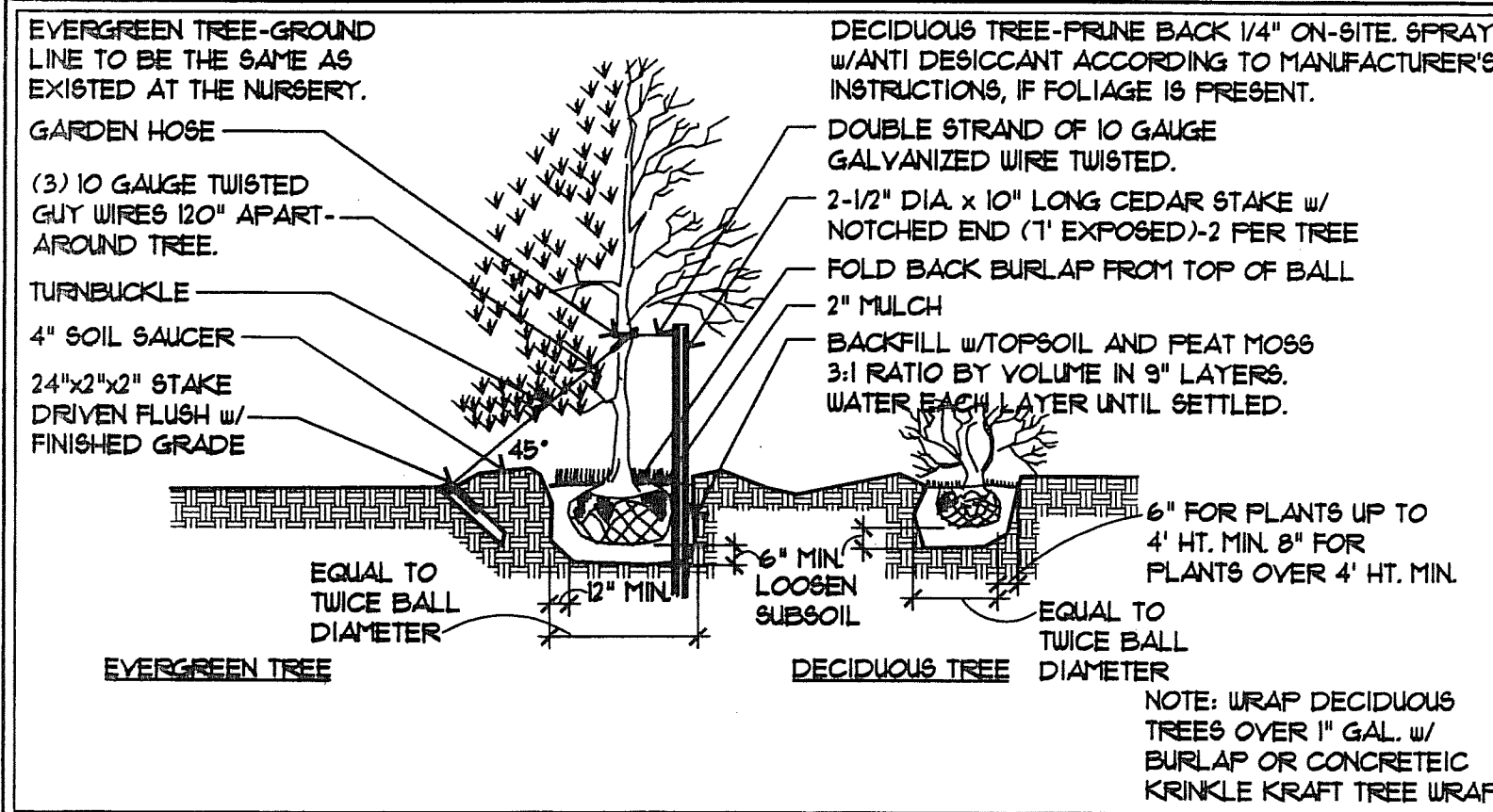
KEY	COMMON NAME	BOTANICAL NAME	NO.	SIZE
<b>PROPOSED TREES / SHRUBS TO BE ADDED</b>				
ASPN	POPULUS TREMULOIDES	224	10'-12" HT.	95% MULTI-STEM
COLORADO BLUE SPRUCE	PICEA PUNGENS OR PINUS ARSSTATATA	135	8'-10" HT.	
SHRUBS/LOWERS (NATIVE LANDSCAPE)	REFER TO QUALIFIED LANDSCAPE DESIGNER	79	5 GAL @ 3' O.C.	

- NOTES: (SEE SPECIFICATIONS TO N.I.C. ITEMS)**
- PROVIDE 2"-3" (MIN) TOPSOIL AND SEED ALL DISTURBED AREAS WITH SUMMIT COUNTY BRIGHT GRASS MIX.
  - NO EXISTING TREES TO REMAIN ARE PRESENT ON SITE.
  - LOCATE ALL PLANTINGS TO AVOID SNOW STACKING AND SNOW SLIDE AREAS FROM ABOVE.
  - SHRUBS ARE TO BE FIELD LOCATED.
  - ALL NEW LANDSCAPING TO BE LANDSCAPE IRRIGATED.
  - ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL MAY BE BENEFICIAL.
  - ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
  - NATURALIZE (VARY HEIGHTS OF GROUPED TREES) WHEREVER POSSIBLE.

**SITE NOTES**

- Electric, cable TV, and telephone underground in common trench.
- Verify all utility locations prior to work. Coordinate utility routing with applicable utility company. All utilities to be underground.
- Topographic information obtained from RAL Surveying.
- Provide positive drainage at building perimeter (slope away from building @ 1:12 min).
- Refer to foundation plan for foundation drain location and slope.
- No existing trees to remain are present on site.
- Provide 6" slope flap over weed barrier fabric at eaves and valley locations.
- Stake building locations for owner and architect approval prior to any work.
- B-3 zoning requirements (if parcels combined)
  - a. 25% landscape (45.7% proposed)
  - b. 2 stories with 2nd accent (2 stories proposed)
  - c. Uses - All uses per permitted uses

**PLANTING DETAIL**



REVISIONS:

JOB NO: 53161  
 DATE: 11/5/99  
 DRAWN BY: JLB  
 CHECKED BY: HEM/AM  
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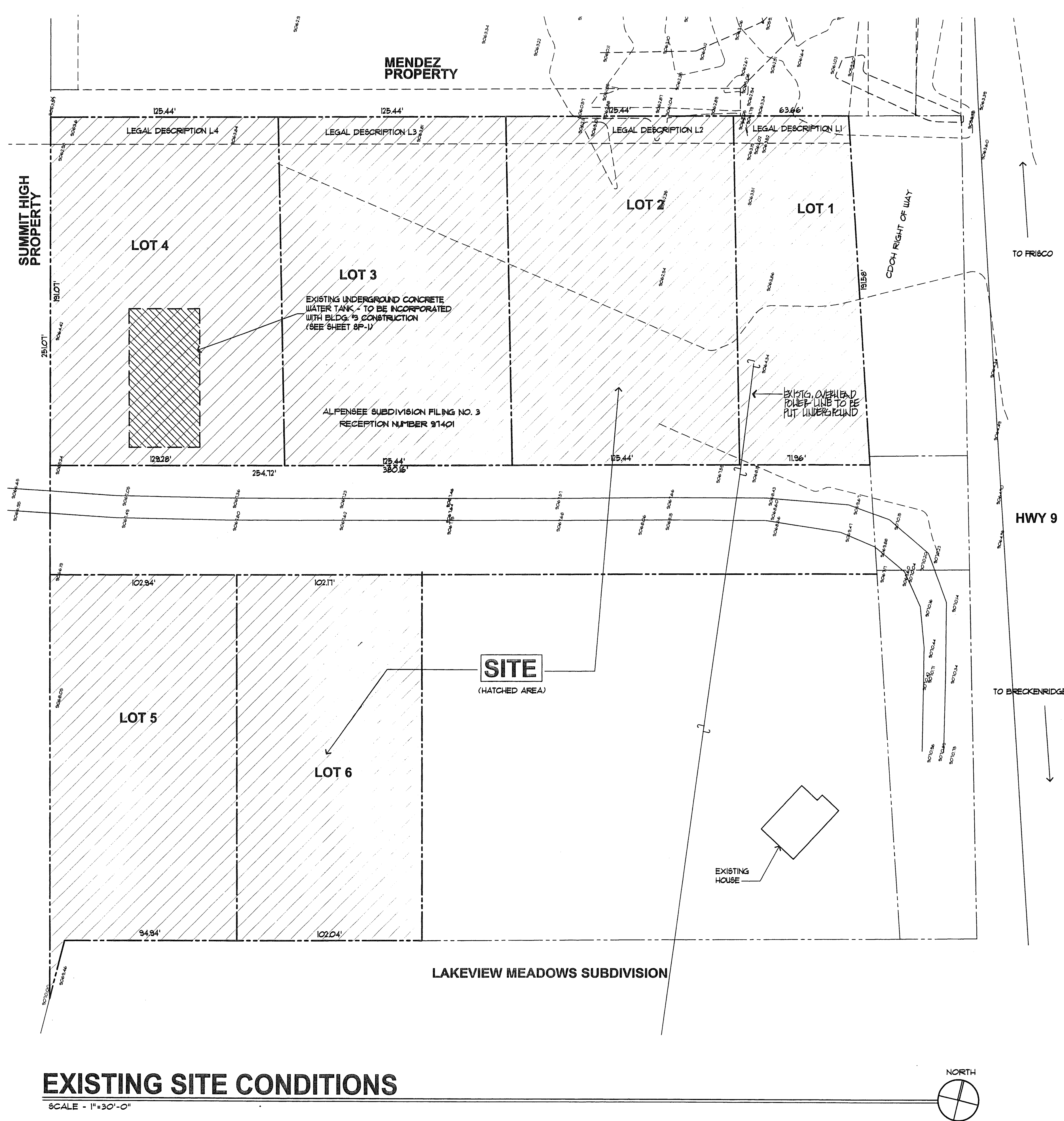
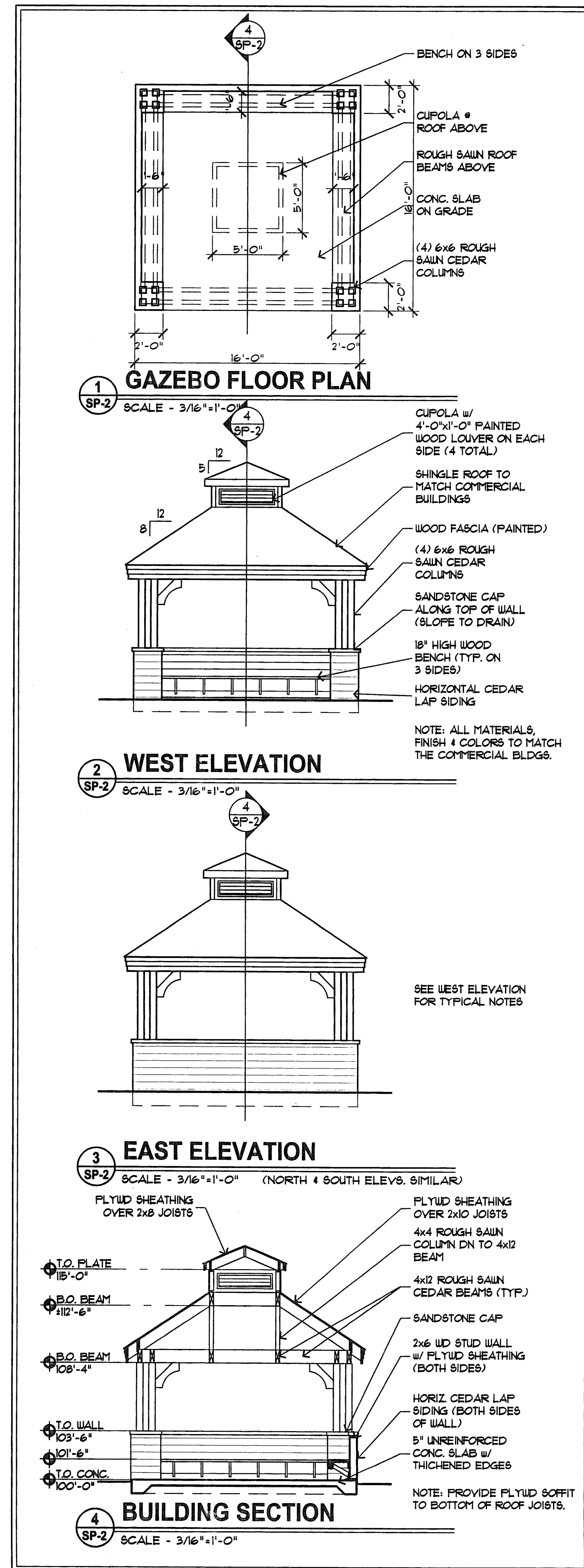
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**HIGHLAND BUSINESS PARK**  
 HIGHLAND MEADOWS, SUMMIT COUNTY, COLORADO

SHEET NUMBER:  
**SP-1**

OF: 2





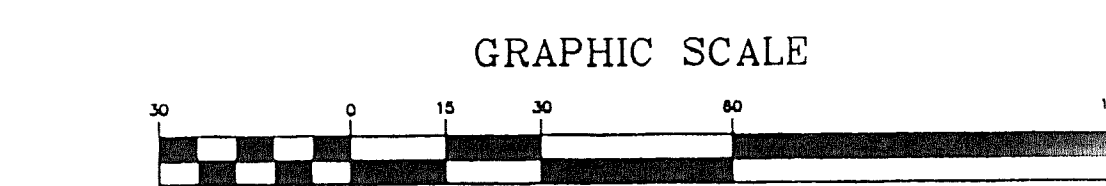
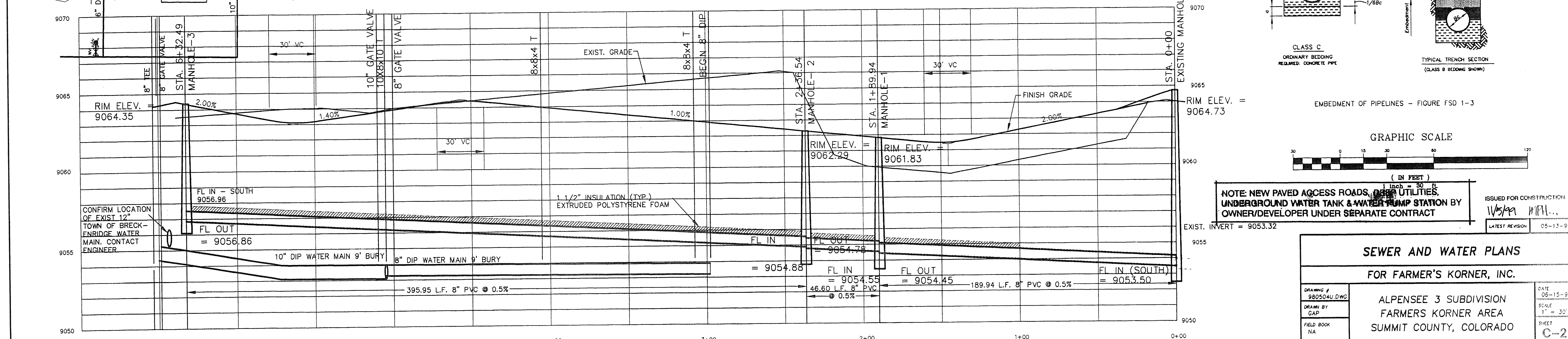
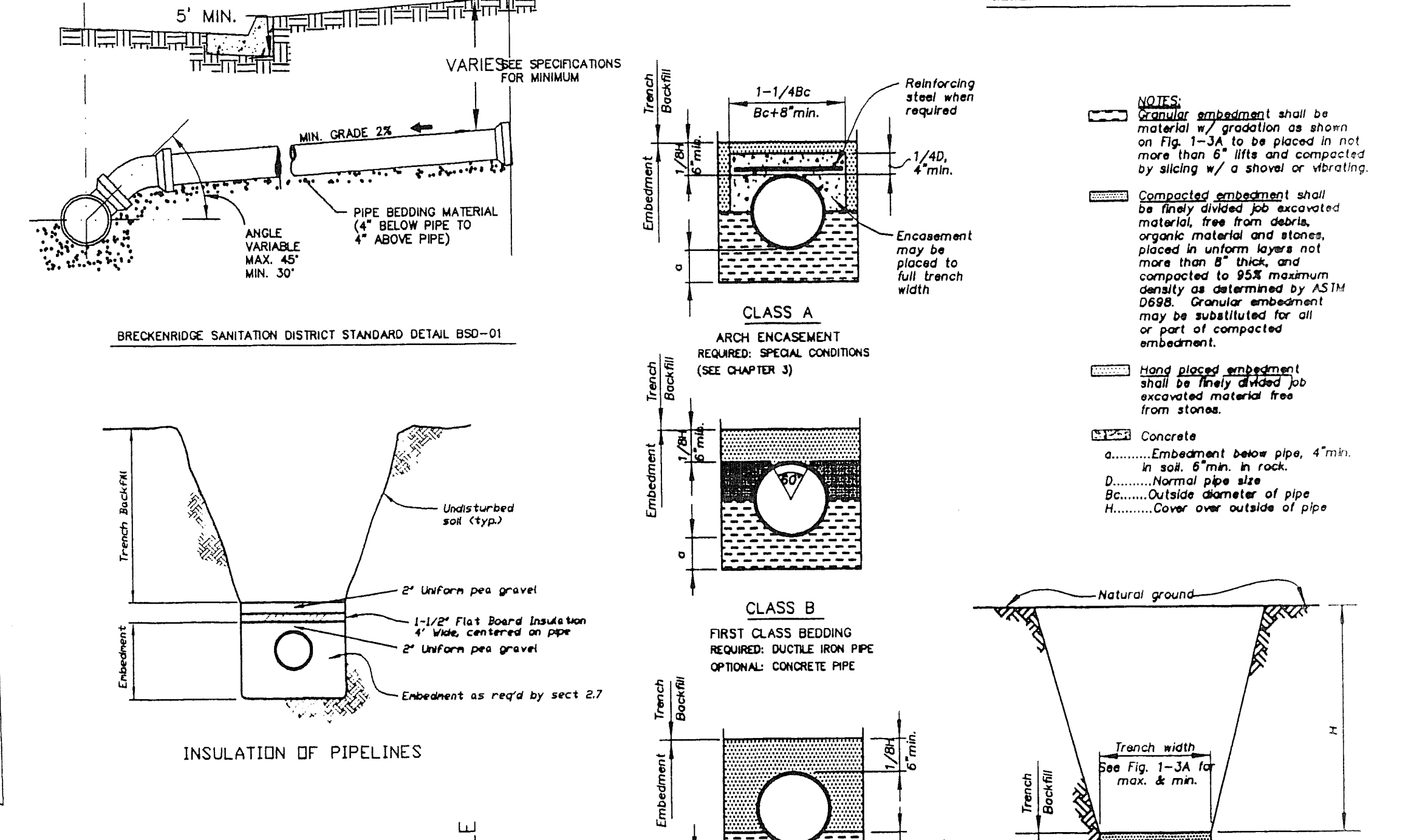
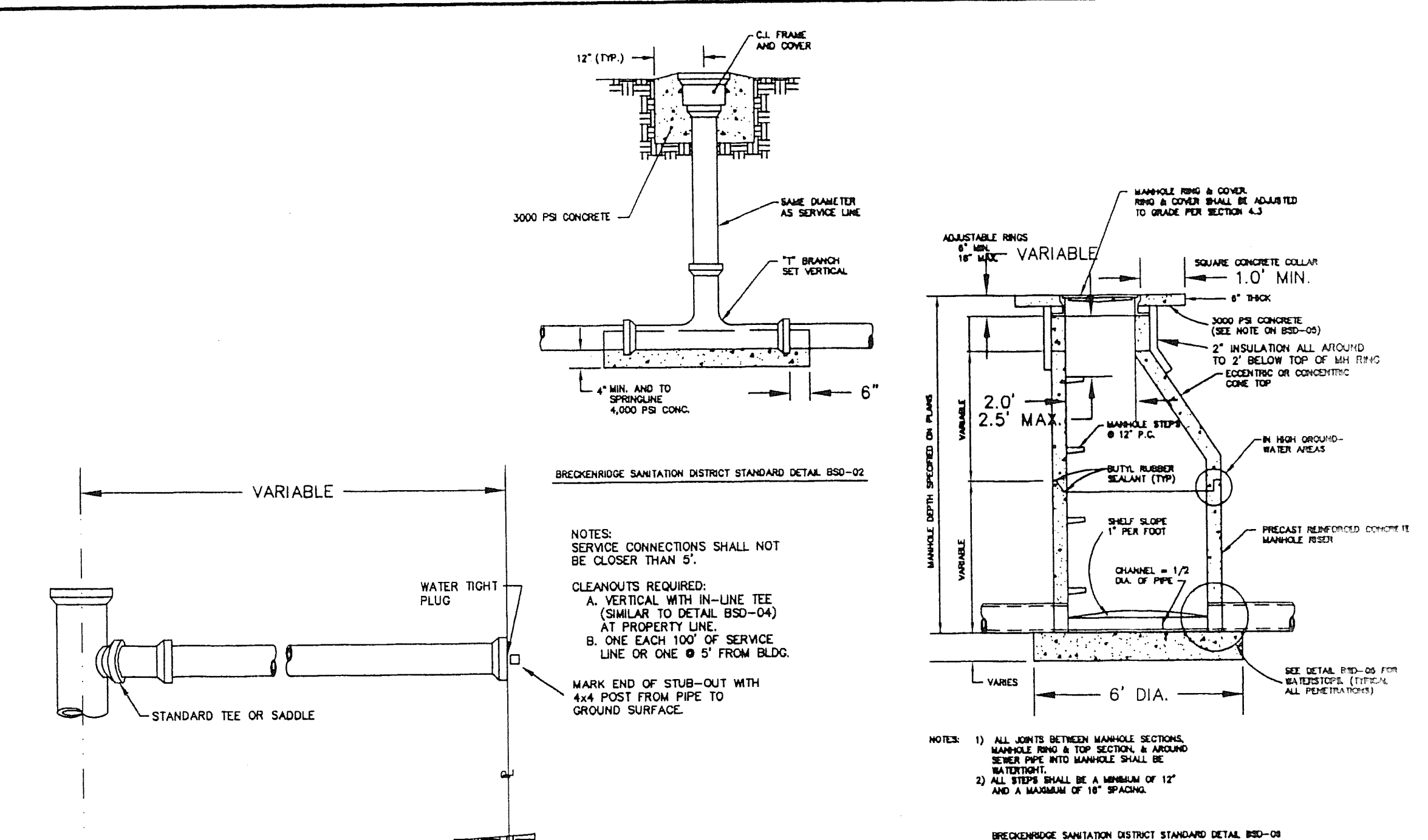
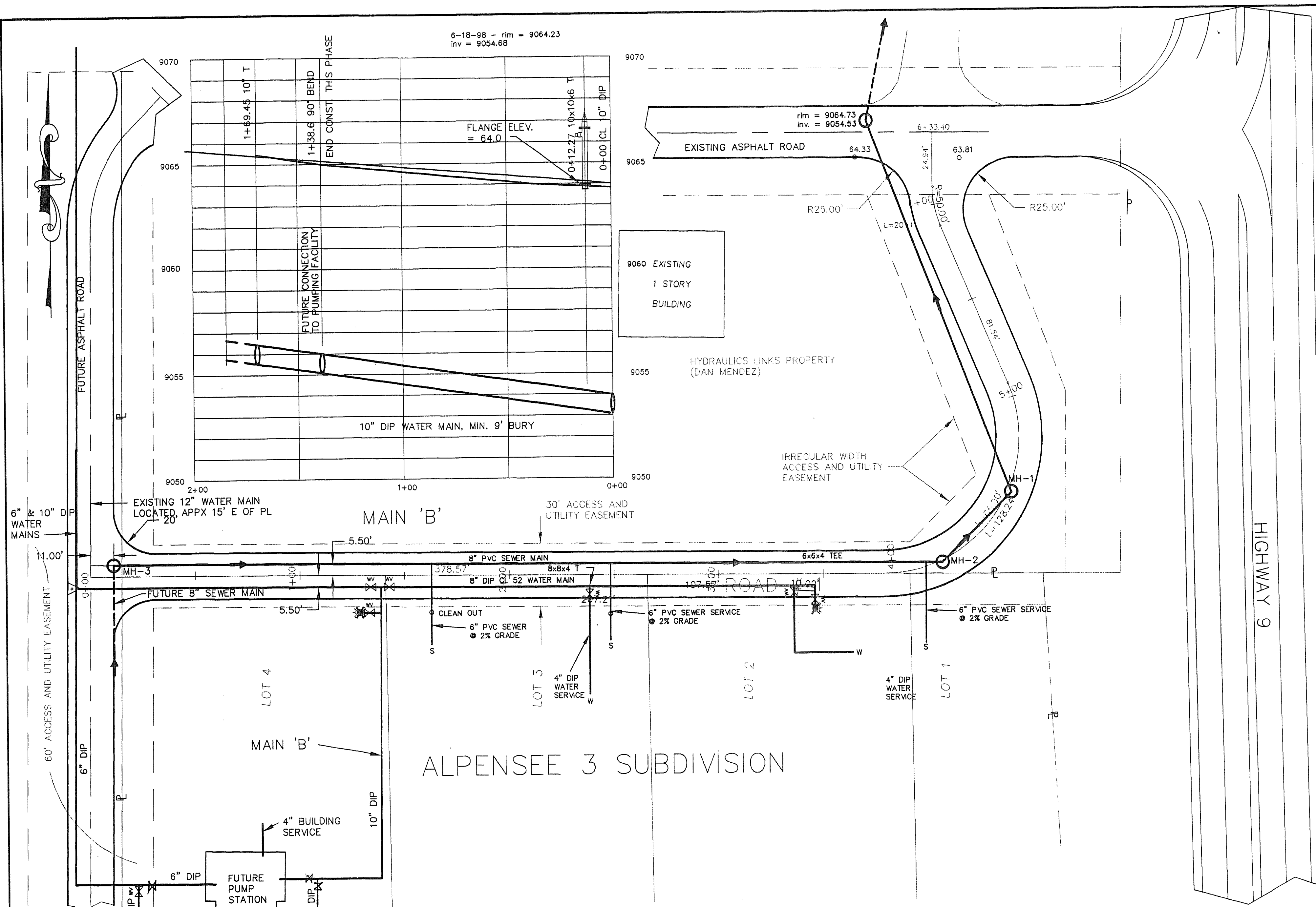
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11/5/99

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**HIGHLAND BUSINESS PARK**  
HIGHLAND MEADOWS, SUMMIT COUNTY, COLORADO

SHEET NUMBER:  
**SP-2**  
OF: 2



NOTE: NEW PAVED ACCESS ROADS, DRAIN UTILITIES, UNDERGROUND WATER TANK & WATER PUMP STATION BY OWNER/DEVELOPER UNDER SEPARATE CONTRACT

ISSUED FOR CONSTRUCTION  
 1/5/99  
 LATEST REVISION 05-13-99

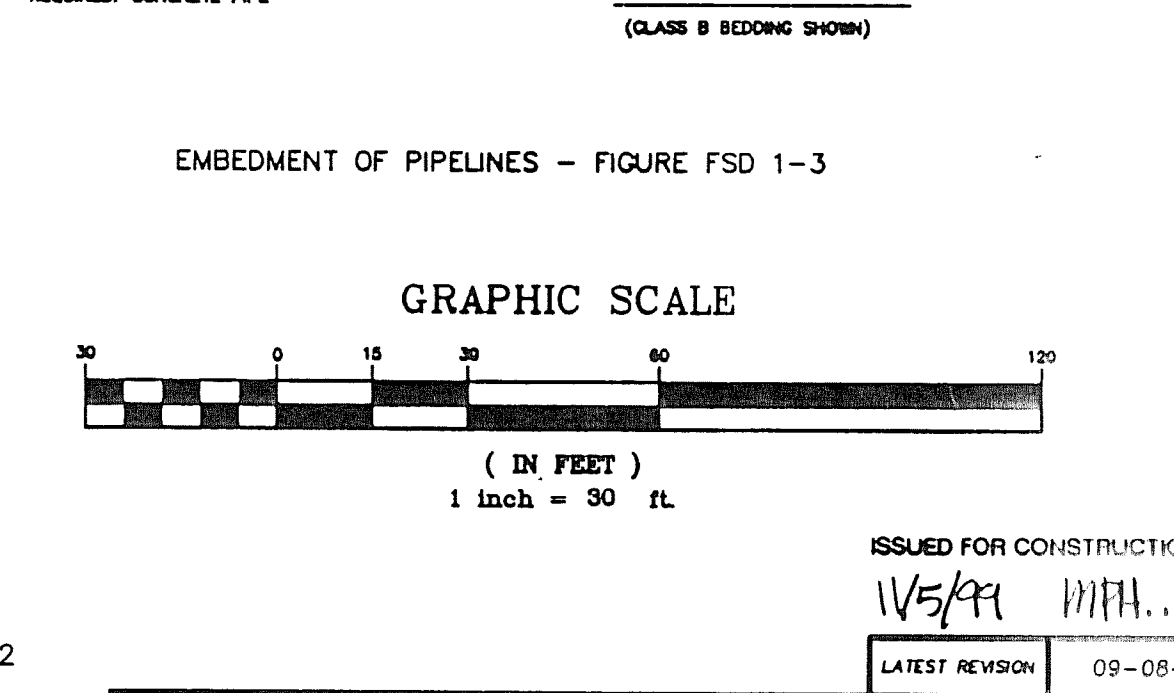
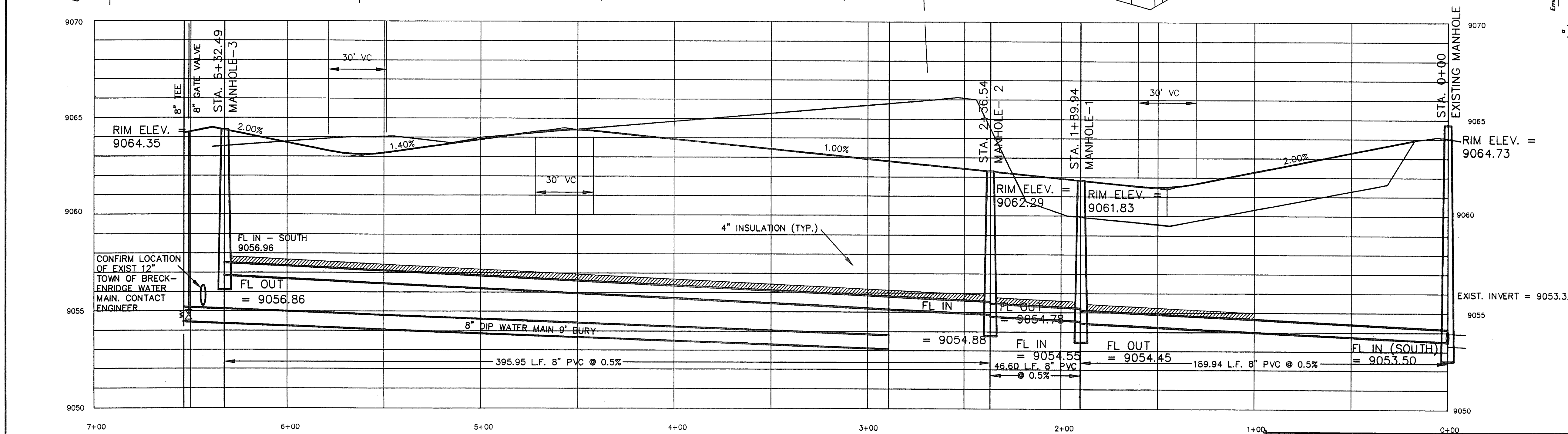
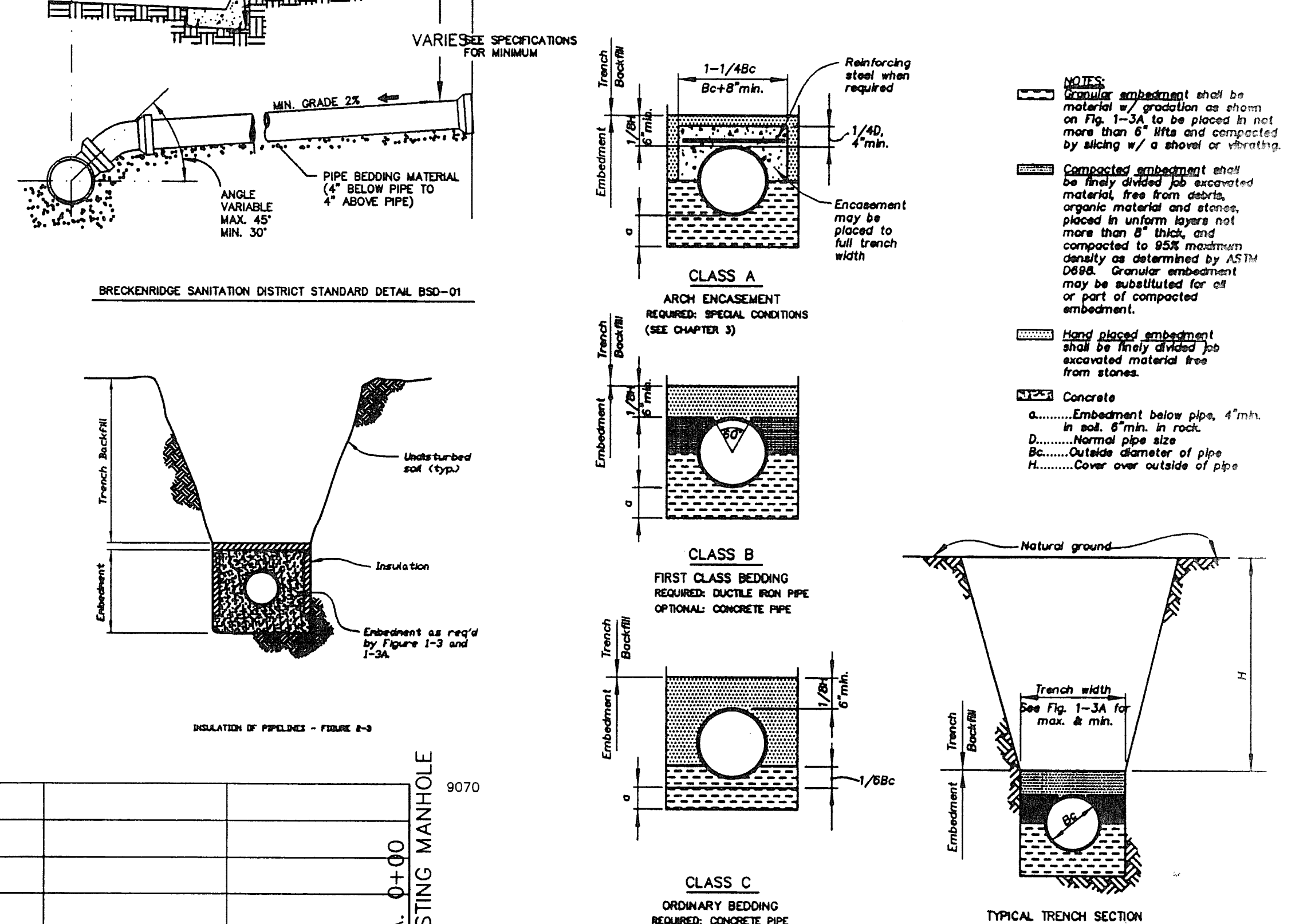
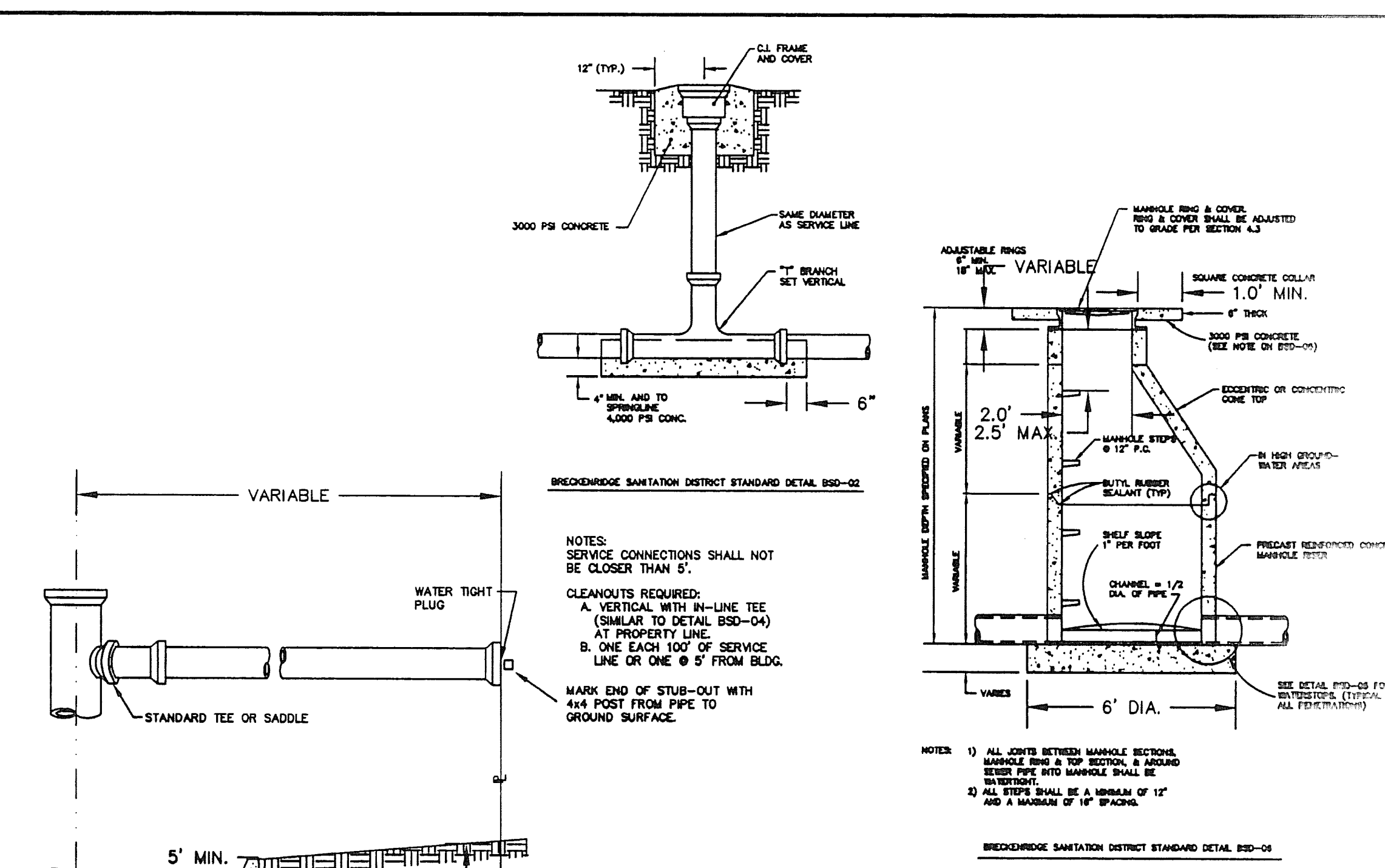
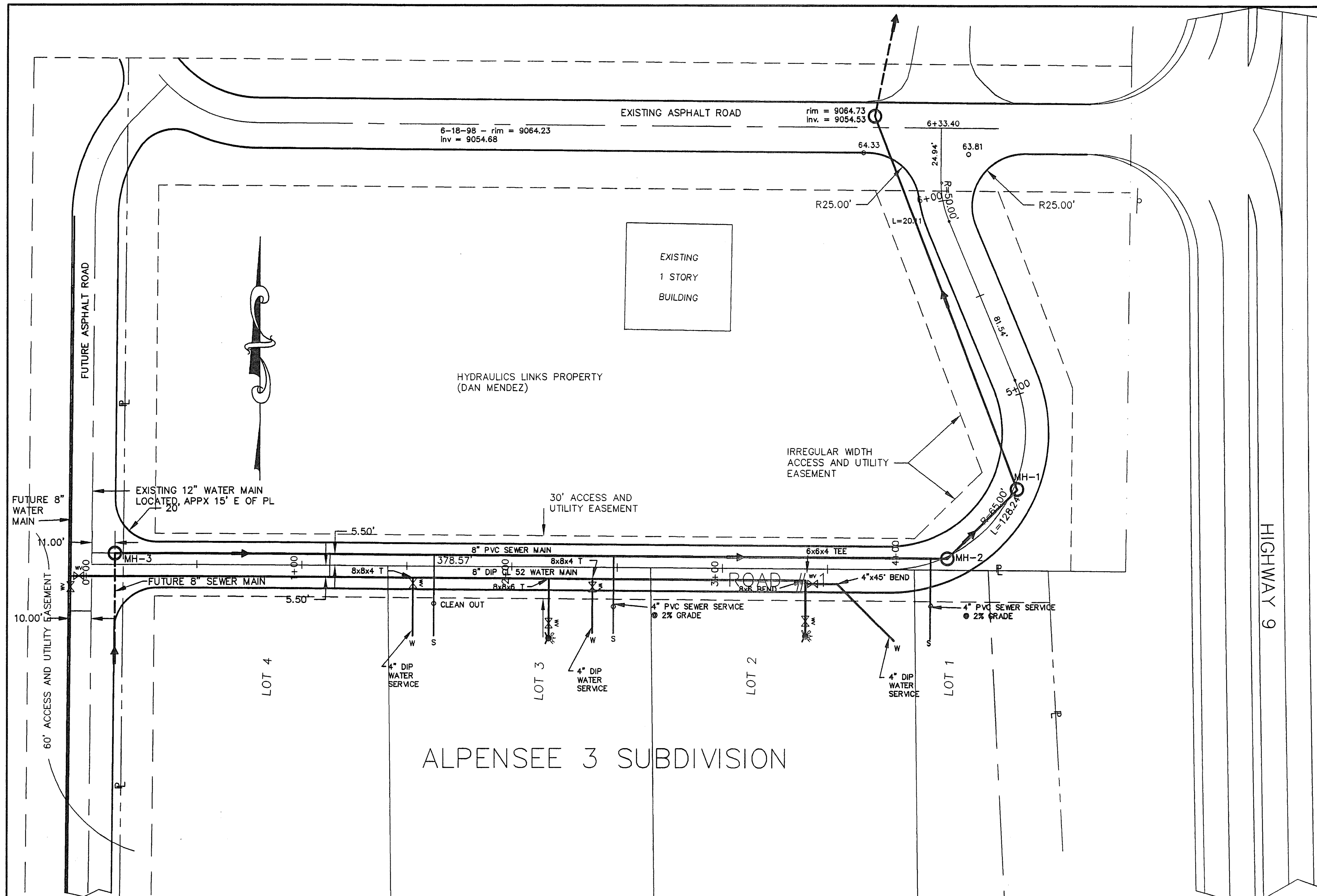
SEWER MAIN PROFILE  
 SCALE: HORIZONTAL - 1" = 30'  
 VERTICAL - 1" = 3'

ALL MATERIALS, SPECIFICATIONS AND CONSTRUCTION STANDARDS ARE TO BE PER BRECKENRIDGE SANITATION DISTRICT REQUIREMENTS.

<b>SEWER AND WATER PLANS</b>		
<b>FOR FARMER'S KORNER, INC.</b>		
DRAWING # 980504U.DWG	DATE 08-15-98	
DRAWN BY GAP	SCALE 1" = 30'	
FIELD BOOK NA	SHEET C-2	
<b>PEARSON ENGINEERING, INC.</b>		
P.O. BOX 1308, FRISCO, CO 80448 970 668 3067		

PROJECTS 980504U.DWG 13.08.30.56.1999



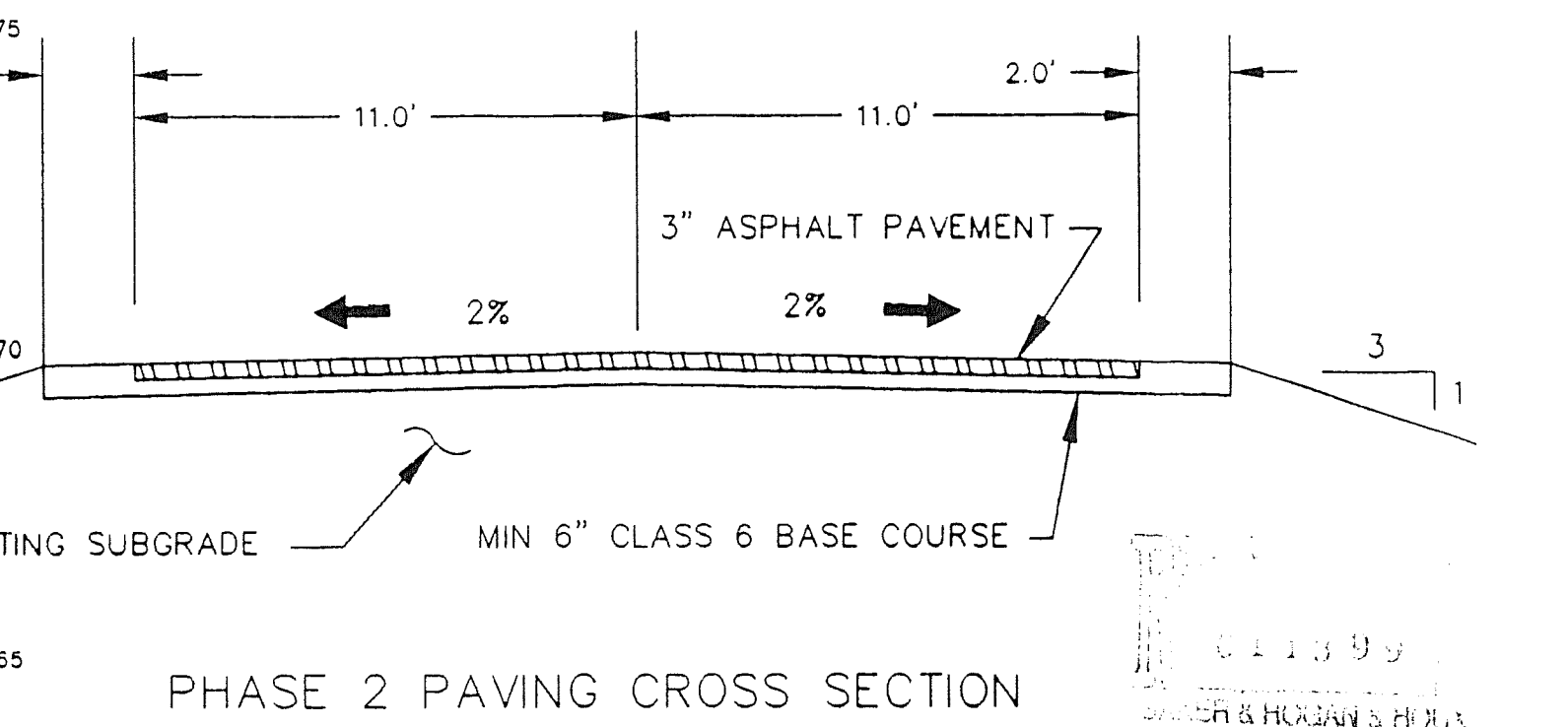
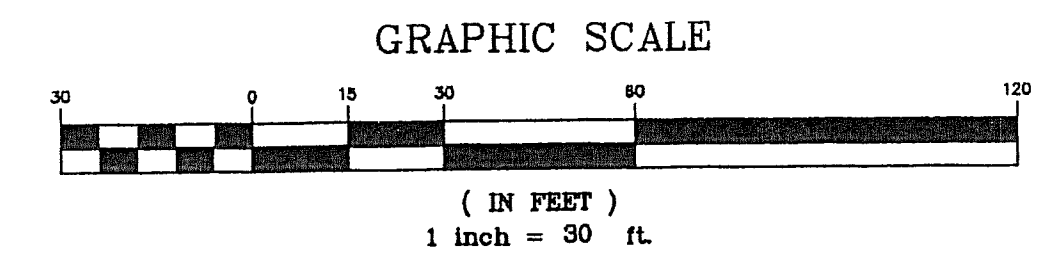
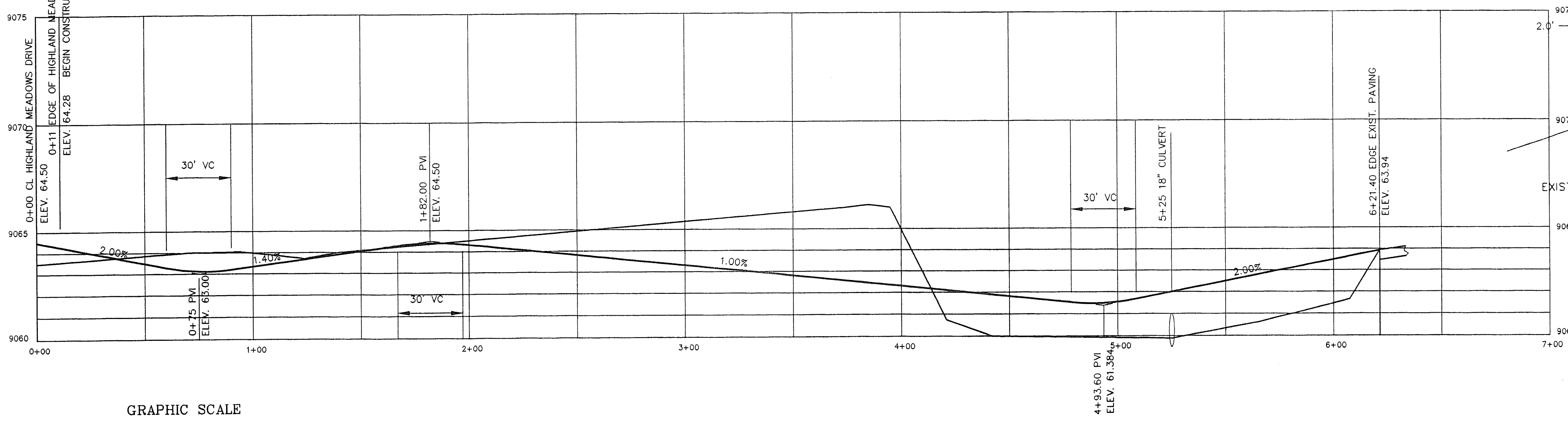
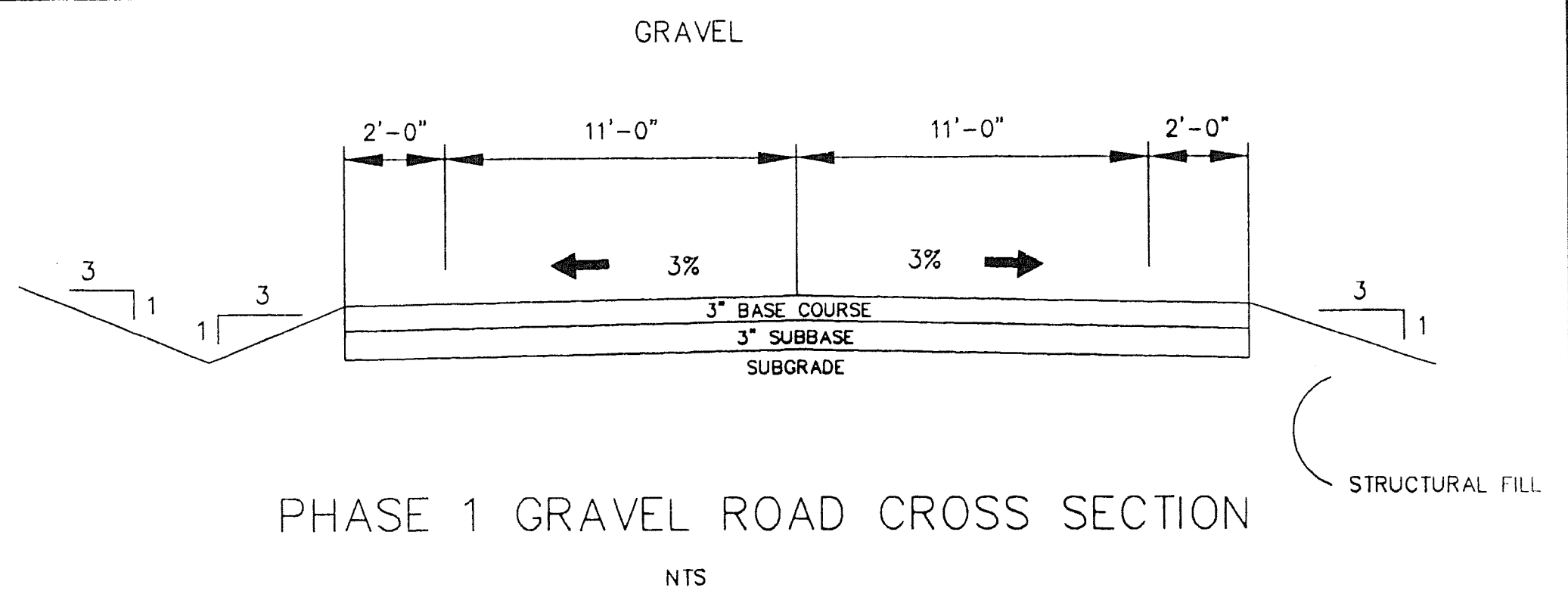
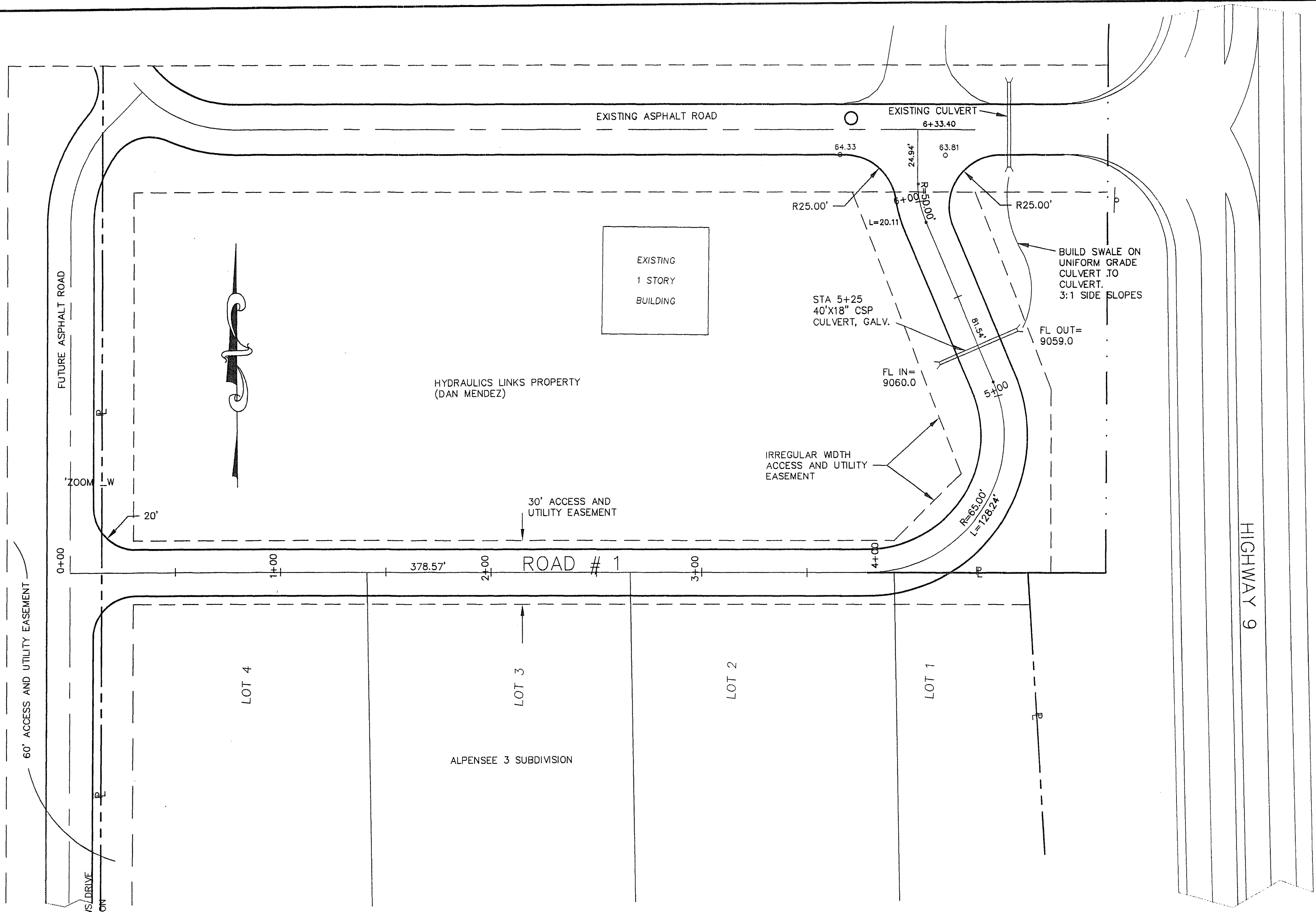


ISSUED FOR CONSTRUCTION  
 LATEST REVISION 09-08-98  
**SEWER PLAN AND PROFILE & WATER PLAN**  
 FOR FARMER'S KORNER, INC.  
 ALPENSEE 3 SUBDIVISION  
 FARMER'S KORNER AREA  
 SUMMIT COUNTY, COLORADO  
 PEARSON ENGINEERING, INC.  
 P.O. BOX 1508, FRISCO, CO 80445  
 970 668 5067

I:\PROJECTS\980504\980504.dwg Tue Sep 8 09:54:02 1998

**SEWER MAIN PROFILE**  
 SCALE: HORIZONTAL - 1" = 30'  
 VERTICAL - 1" = 3'

NOTE: NEW PAVED ACCESS ROADS, UNDERGROUNDS, UNDERGROUND WATER TANK & WATER PUMP STATION BY OWNER/DEVELOPER UNDER SEPARATE CONTRACT



ROAD # 1

NOTE: NEW PAVED ACCESS ROADS, DEEP UTILITIES, UNDERGROUND WATER TANK & WATER PUMP STATION BY OWNER/DEVELOPER UNDER SEPARATE CONTRACT

<b>ALPENSEE 3 ACCESS ROAD</b>		
FOR FARMER'S KORNER, INC.		
DRAWING # 980504S.DWG	SCALE 1" = 30'	DATE 06-05-98
DRAWN BY GAP	ALPENSEE 3 SUBDIVISION FARMER'S KORNER AREA SUMMIT COUNTY, COLORADO	
FIELD BOOK NA	SHEET <b>C-4</b>	
PEARSON ENGINEERING, INC. P.O. BOX 1508, FRISCO, CO 80445 970 668 5067		

